

Solicitation Number	21-BCG-PR-001
Date Printed	January 12, 2022
Date Issued	January 14, 2022
Procurement Officer	Lawrence Lutrario
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**DESCRIPTION: Malcolm C. Hursey Montessori School at Ron McNair Campus
School Building No. 0734**

Offeror is to submit a signed copy of this Addendum # 1 form with BID	
NAME OF OFFEROR <small>(Full legal name of business submitting the offer)</small>	
AUTHORIZED SIGNATURE <small>(Person signing must be authorized to submit binding offer to enter contract on behalf of Offeror named above.)</small>	
TITLE <small>(Business title of person signing above)</small>	
PRINTED NAME <small>(Printed name of person signing above)</small>	DATE SIGNED

ACKNOWLEDGMENT OF AMENDMENTS	Amendment No.	Amendment Issue Date	Amendment No.	Amendment Issue Date	Amendment No.	Amendment Issue Date	Amendment No.	Amendment Issue Date
Offerors acknowledges receipt of amendments by indicating amendment number and its date of issue. See "Amendments to Solicitation" Provision								
DISCOUNT FOR PROMPT PAYMENT See "Discount for Prompt Payment" clause	10 Calendar Days (%)		20 Calendar Days (%)		30 Calendar Days (%)		____Calendar Days (%)	

SEE NEXT PAGE

AMENDMENTS TO SOLICITATION (a) The Solicitation may be amended at any time prior to opening. (b) Offerors shall acknowledge receipt of any amendment to this solicitation (1) by signing and returning the amendment, (2) by identifying the amendment number and date in the space provided for this purpose on Page Two, (3) by letter, or (4) by submitting a bid that indicates in some way that the bidder received the amendment. (c) If this solicitation is amended, then all terms and conditions which are not modified remain unchanged.

Solicitation has been amended as follows:

FOR

**MALCOLM C. HURSEY MONTESSORI AT RON MCNAIR CAMPUS
SCHOOL BUILDING NO. 0734**

PREPARED BY:

**BROWNSTONE CONSTRUCTION GROUP
4055 FABER PLACE DRIVE, SUITE 202
N. CHARLESTON, SOUTH CAROLINA 29405**

AND

**RED IRON ARCHITECTS
4591 DURANT AVENUE
N. CHARLESTON, SOUTH CAROLINA 29405**

This addendum consists of the following attachments:

ITEM 1		No. of Pages
	1. ADD Questions and Clarifications	3
	2. ADD Specifications	6
	3. ADD Drawing Changes	6
ITEM 1.1	QUESTIONS & CLARIFICATIONS: See the attached clarifications indicating changes to be incorporated into the Contract Documents.	
ITEM 1.2	SPECIFICATIONS: In accordance with this addendum, the following specifications shall be incorporated into the Contract Documents	
	1. Section 016400 Owner Furnished Products	
ITEM 1.3	DRAWINGS: In accordance with this addendum, the following drawings shall be incorporated into the Contract Documents:	
	1. Sheet G1.02	
	2. Sheet C501	
	3. Sheet L2.01	
	4. Sheet L2.03	
	5. Sheet A1.04a	
	6. Sheet A6.14	

END OF ADDENDUM No 2

1.2 QUESTIONS & CLARIFICATIONS

QUESTIONS:

- Q2.1: Where will the reclaimed flooring installed on the wall at section 5/A8.12 and the wood doors in the conference room be stored so we can pick up and incorporate in the project?
A2.1 **Schroder Campus: 7224 SC-162, Hollywood SC 29449 – Room 403**
- Q2.2 Should the main electrical E163 have a double door? Sometimes the electrical service size triggers this requirement.
A2.2 **Door size as scheduled is code compliant.**
- Q2.3 Note on detail 2/A4.04 states 3 hour block must be stamped by manufacturer. Is this necessary if the block is filled solid?
A2.3 **3HR stamp is required by OSF.**
- Q2.4 Sheet G2.03 shows a 1 hour rated assembly along firewall at column line D. I understand above receiving corridor CR118, room TRD 118 and storage S156D where the roof is lower than the adjacent lower ES6 room 244, toilet 244T and project room LE240. 2/3 of the roof associated with platform 158C is above the adjacent roof. Is fire spray required there?
A2.4 **Spray fireproofing at the Platform area is acceptable. Use 1HR spray fireproofing at all structural elements that fall within 10'-0" of the 3HR wall at the platform. Members must be protected the full length and span of the supporting roof members at a minimum of 1HR has noted in the drawings. Intumescent paint to be used at all exposed areas where spray fireproofing removed for clips, anchors, etc. in accordance with the code and manufacturers guidelines. As referenced in the drawings, SCBC 706.1.1 Exception 2 states "Openings in the lower roof shall not be located within 10 feet of the fire wall."**
- Q2.5 Does reclaimed wood go in the recess in corridor CR160 outside of storage S158D. This is between door 156M and exterior door 160. The other recesses along this wall have reclaimed wood.
A2.5 **No, drawings show the extent of the reclaimed wood locations.**
- Q2.6 What is height of FRP panels in the kitchen and dishwasher areas? The finish schedule says FRP/PNT implying a portion of the wall is painted.
A2.6 **FRP is to be full height.**
- Q2.7 Please confirm refrigerant piping for freezer/cooler units are to be run underground. How are they supposed to get to the top of the units inside the building?
A2.7 **Refrigerant piping does not run underground. The condensing units will be located on top of the Kitchen roof as shown on A1.04a, see attached.**
- Q2.8 Sheet L1. 01 describes 4 bike racks by cafeteria but the drawing shows 8. Which is correct?
A2.8 **Provide 4 bike racks.**
- Q2.9 L1. 01 states synthetic turf see civil. The civil drawings don't reference any turf. Please provide direction.
A2.9 **Turf and playground are by the Owner. GC is required to provide all underground drainage under the turf and any concrete cubs around the perimeter. Churchich will**

provide and install the sub-base and turf. See L2.01, 1/L2.03 and C501 for additional information.

- Q2.10 Are markups allowed on allowance items when we submit final pricing during the project? Since the allowance items are not included in our bid pricing there will be no mark-up included on bid day.
- A2.11 **No, markups are to be included in the base bid cost.**
- Q2.11 The structural drawings show bent plate brick relief angle on second and third floor on detail 2/S1.12a. This is not shown on architectural. Is flashing, weeps, expansion pads and/or caulking required at these locations?
- A2.11 **Yes, that would be a standard requirement at all brick relief angles. See detail 8/A6.14.**
- Q2.12 The retaining wall is extremely close to the adjacent land? How will this be built without encroaching on the adjacent property?
- A2.12 **The retaining walls on the SE and SW sides of the property are being constructed under the Early Site using standard spread footings.**
- Q2.13 Please delineate what is included in the early site package and what will be required by the general contractor to complete the project.
- A2.13 **See PowerPoint presentation from the Pre-bid Conference.**
- Q2.14 Please delineate what is being provided in the early steel package. The specs state joist and deck. Does that include form deck for the raised slabs? Does that include pour stop at decking edges. Does that include shop drawings?
- A2.14 **The floor decking, roof decking and roof joists are being provided under the early steel package. The pour stops at the decking edges are not included in the early steel package. Shop drawings are being produced for only the roof joists, roof decking and floor decking.**
- Q2.15 Can additional details for the 3-form feature wall (DWF-1) in the lobby be provided?
- A2.15 **Fin system quantities and orientation as shown on A5.13 and to be centered in opening. Also, see A8.10 Finish legend and 066200 - DECORATIVE RESIN FABRICATIONS for DWF-1. 3-form feature wall is a system. Website includes install guide: <https://www.3-form.com/products/edge-modular-wall-feature>**
- Q2.16 Please confirm the Owner is supplying the reclaimed floor material for RWW-1
- A2.16 **Yes. See Q/A2.01 above for additional information.**
- Q2.17 Spec section 051200, 1.7.B. calls for the steel erector to be AISC-Certified. Can this requirement be waived?
- A2.17 **With the special inspections specified required for the project, we can waive it for the steel erector only. The inspector will likely need to visit more frequently. The steel fabricator should be AISC certified.**
- Q2.18 Due to current construction backlogs, I have not been able to source an AISC Certified Steel Erector to bid this project. Can you please request that this requirement be waived from the project specifications?
- A2.18 **See Q/A2.17 above for additional information.**

- Q2.19 ACP-1 are Wenger Ceiling Diffusers (finish legend) but are not found in the drawings. I do See diffusers in the Music/Orchestra areas, but they are labeled as CL44. Are the ACP-1 the same as CL44? If not, I do not see the sizes or locations indicated anywhere. Please advise.
- A2.19 **Yes, CL44 has finish ACP-1.**
- Q2.20 Our manufacturer wants to know if there is a way to change the Sound Wall panel size? “One for exact 4’x8’ panels as requested (which will require 3 biscuit jointed subpanels to create each full-size panel) as well as one for the standard size option (46”x94”) which is a significant savings if that size can work.”
- A2.20 **4’x8’ is the nominal size. Up to 2” deviation on the overall dimensions is acceptable.**

CLARIFICATIONS:

C2.1 Jedco Substitution Request:

Manufacturer	Items	Response
Keueger	Terminal Units	Not Approved
Indeeco, Inc.	Unit Heaters	Not Approved
Atco, Inc.	Insulated Flexible Duct	Not Approved

- C2.2 Toilet Rooms 248T and 252T to have flooring RSF-1.
- C2.3 Metal Composite Material Wall Panels Substitution Request: Alfrex FR MCM Approved
- C2.5 Section 105129 Phenolic Lockers
 - i. The basis of design manufacture should be List Industries – coordinating with what the drawings are scheduling as BOD.
- C2.6 Field Brick: Palmetto Brick Company: Ivorystone Wirecut Utility: Product Approved, final color selection to be determined
- C2.7 Accent 1 Brick: Palmetto Brick Company: 1.25 Greystone Wirecut Utility: Product Approved, final color selection to be determined
- C2.8 Accent 2 Brick: Palmetto Brick Company Walnut Wirecut Utility: Product Approved, final color selection to be determined

End of 1.1 Questions & Clarifications

1.2 SPECIFICATIONS

1. 016400 Owner Furnished Products: Replace Section 016400 in its entirety with revised section 016400. Revisions included changes to Owner Furnished Owner Installed items.

End of 1.2 Specifications

1.3 DRAWINGS

GENERAL:

1. G1.02 PROJECT INFORMATION
Revised list of Alternates

CIVIL:

2. C5.01 SITE DETAILS
Added Synthetic Turf Details

LANDSCAPE:

3. L2.01 PLANTING PLAN
Added detail for trees located in synthetic turf.
4. L2.01 PLANTING SCHEDULE PLANTING DETAILS
Added detail for trees located in synthetic turf.

ARCHITECTURAL:

5. A1.04a OVERALL ROOF PLAN
Revisions to required fire ratings near 3-Hr wall.
6. A6.14 EXTERIOR DETAILS
Added counterflashing detail

End of 1.3 Drawings.

**MALCOLM C. HURSEY MONTESSORI SCHOOL
SCHOOL BUILDING NO. 0734
SECTION 016400**

OWNER FURNISHED PRODUCTS

PART 1 GENERAL

1.01 DESCRIPTION

- A. Work Included: Coordinate and, if required, install Owner Furnished Equipment as shown on the drawings, as specified herein, and as needed for a complete and proper installation.
1. Owner Furnished/Contractor Installed (OF/CI) Equipment items and Owner Furnished/Owner Installed (OF/OI) Equipment items will be identified on the drawings or in the specifications.
 2. Connections and interface: All necessary connections and interface with new construction shall be the responsibility of the General Contractor. This includes but is not limited to mechanical, plumbing, and electrical connections, sealing and trim closures.

1.02 QUALITY ASSURANCE

- A. Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this Section.

1.03 SUBMITTALS

- A. Product Data: In accordance with the Contractor's Construction Schedule, the Owner shall submit to the Contractor the following:
1. Materials list of items proposed to be provided under this Section.
 2. Manufacturer's specifications, catalog cut sheets, installation and instructions.
 3. Shop drawings indicating assembly and construction interface details.

1.04 COORDINATION - FOR OF/CI EQUIPMENT

- A. Owner's Responsibilities:
1. Have the Program Manager arrange for and deliver Owner reviewed Shop Drawings, Product Data, and Samples to Contractor.
 2. Arrange and pay for Product delivery to site.
 3. On delivery, the Program Manager and Owner will inspect Products jointly with Contractor.
 4. Have Program Manager submit claims for transportation damage and replace damaged, defective, or deficient items.

**MALCOLM C. HURSEY MONTESSORI SCHOOL
SCHOOL BUILDING NO. 0734
SECTION 016400**

OWNER FURNISHED PRODUCTS

5. Have Program Manager arrange for manufacturer's warranties, inspections, and service.
- B. Contractor's Responsibilities:
1. Review Owner reviewed Shop Drawings, Product Data, and Samples.
 2. Receive and unload Products at site; inspect for completeness or damage, jointly with Program Manager.
 3. Handle, store, install and finish Products.
 4. Repair or replace items damaged after receipt.

1.05 COORDINATION FOR OF/OI EQUIPMENT

- A. Owner's Responsibilities:
1. Have the Program Manager arrange for and deliver Owner reviewed Shop Drawings, Product Data and Samples to Contractor.
 2. Arrange and pay for Product delivery to site.
 3. On delivery, the Program Manager and Owner will inspect Products jointly with Contractor.
 4. Have the Program Manager submit claims for transportation damage and replace damaged, defective, or deficient items.
 5. Arrange and pay for Product installation at site.
 6. Have the Program Manager arrange for manufacturer's warranties, inspections, and service.
- B. Contractor's Responsibilities:
1. Review Owner reviewed Shop Drawings, Product Data and Samples to become thoroughly familiar with the work. Establish work schedules and material deliveries.
 2. Receive and unload Products at site, inspect for completeness or damage, jointly with Program Manager.
 3. Coordinate work with Owner's installation Contractor. Provide temporary power, water, etc. to facilitate work.

MALCOLM C. HURSEY MONTESSORI SCHOOL
SCHOOL BUILDING NO. 0734
SECTION 016400

OWNER FURNISHED PRODUCTS

4. Provide storage, if necessary, of products prior to installation.
5. Make final connections to permanent utility services, such as power, water, gas, sewer to allow for full functional use.
6. Protect all completed work.
7. Repair or replace items damaged after completion.
8. Coordinate training sessions with Program Manager to train Owner's personnel in the proper operation of the equipment.

PART 2 PRODUCTS

2.01 GENERAL

- A. The following equipment will be furnished by the Owner. This general listing is for rough in information and coordination. See the drawings for the location of the installation.

2.02 EQUIPMENT

- A. Owner Furnished/Contractor Installed (OF/CI)
 1. Appliances
 2. Soap Dispensers
 3. Roof joists and decking as described in the Bar Joist and Roof Deck Package dated October 15, 2021
- B. Owner Furnished. Owner Installed (OF/OI)
 1. Carpet
 2. SVT
 3. Sheet Flooring
 4. Rubber Cove Base
 5. Window Shades
 6. Furniture, Office Equipment and Computer Equipment
 7. Technology wiring and equipment (GC to provide conduits and raceways)
 8. Surveillance System (GC to provide conduits and raceways)
 9. Building Access Control Systems (GC to provide conduits and raceways)
 10. Fire Alarm System (GC to provide conduits and raceways)
 11. Intrusion Detection (GC to provide conduits and raceways)
 12. Audio Visual Systems Equipment (GC to provide conduit, raceway and power)
 13. Platform Lighting (GC to provide conduit, raceway and power)
 14. Site Furnishings: **trash cans and metal benches**
 15. **Playground Equipment**
 16. **Artificial Turf and Sub-Base (GC to provide all underground drainage and perimeter concrete curbs)**

OWNER FURNISHED PRODUCTS

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**MALCOLM C. HURSEY MONTESSORI SCHOOL
SCHOOL BUILDING NO. 0734
SECTION 016400**

OWNER FURNISHED PRODUCTS

3.03 SURFACE CONDITIONS

- A. Examine the area and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the Work. Do not proceed until unsatisfactory conditions are corrected.

3.04 INSTALLATION

- A. Coordinate as required with other trades to assure proper and adequate provision in the work of those trades for interface with the work of this Section.
- B. For OF/CI equipment, install the work of this Section in strict accordance with the original design, pertinent requirements of governmental agencies having jurisdiction, and the manufacturer's recommended installation procedures as approved, anchoring all components firmly into position for long life under hard use.
- C. For OF/CI and OF/OI equipment, upon completion of installation and hookup to utilities, put each operating component through at least five complete operating cycles, adjusting as needed to secure optimum operation level.
- D. Promptly remove from the job site all cartons and packing material associated with the work of this Section.

3.05 RESPONSIBILITY CHARTS

- A. Refer to the attached charts for representation of areas of responsibility between OF/CI and OF/OI System of Products.

**MALCOLM C. HURSEY MONTESSORI SCHOOL
SCHOOL BUILDING NO. 0734
SECTION 016400**

OWNER FURNISHED PRODUCTS

OWNER FURNISHED/CONTRACTOR INSTALLED (OF/CI) TYPICAL

RESPONSIBILITY CHART

Item	Description	School District	Contractor	Manufacturer	A/E	Program Manager
1	List of Equipment				X	
2	Bidding Negotiations					X
3	Purchase Equipment	X				
4	Produce Equipment Shop Drawings			X		
5	Shop Drawing Approval		X		X	
6	Schedule Equipment Delivery Dates		X			
7	Deliver to Jobsite			X		
8	Unload at Jobsite		X			
9	Inspect at Jobsite	X	X			X
10	Property Insurance	X	X			
11	Installation		X			
12	Equipment Startup		X			
13	Clean-up		X			
14	Protection of Installed Materials		X			
15	Warranty		(Labor) X	(Material) X		

**MALCOLM C. HURSEY MONTESSORI SCHOOL
SCHOOL BUILDING NO. 0734
SECTION 016400**

OWNER FURNISHED PRODUCTS

OWNER FURNISHED/OWNER INSTALLED (OF/OI) TYPICAL

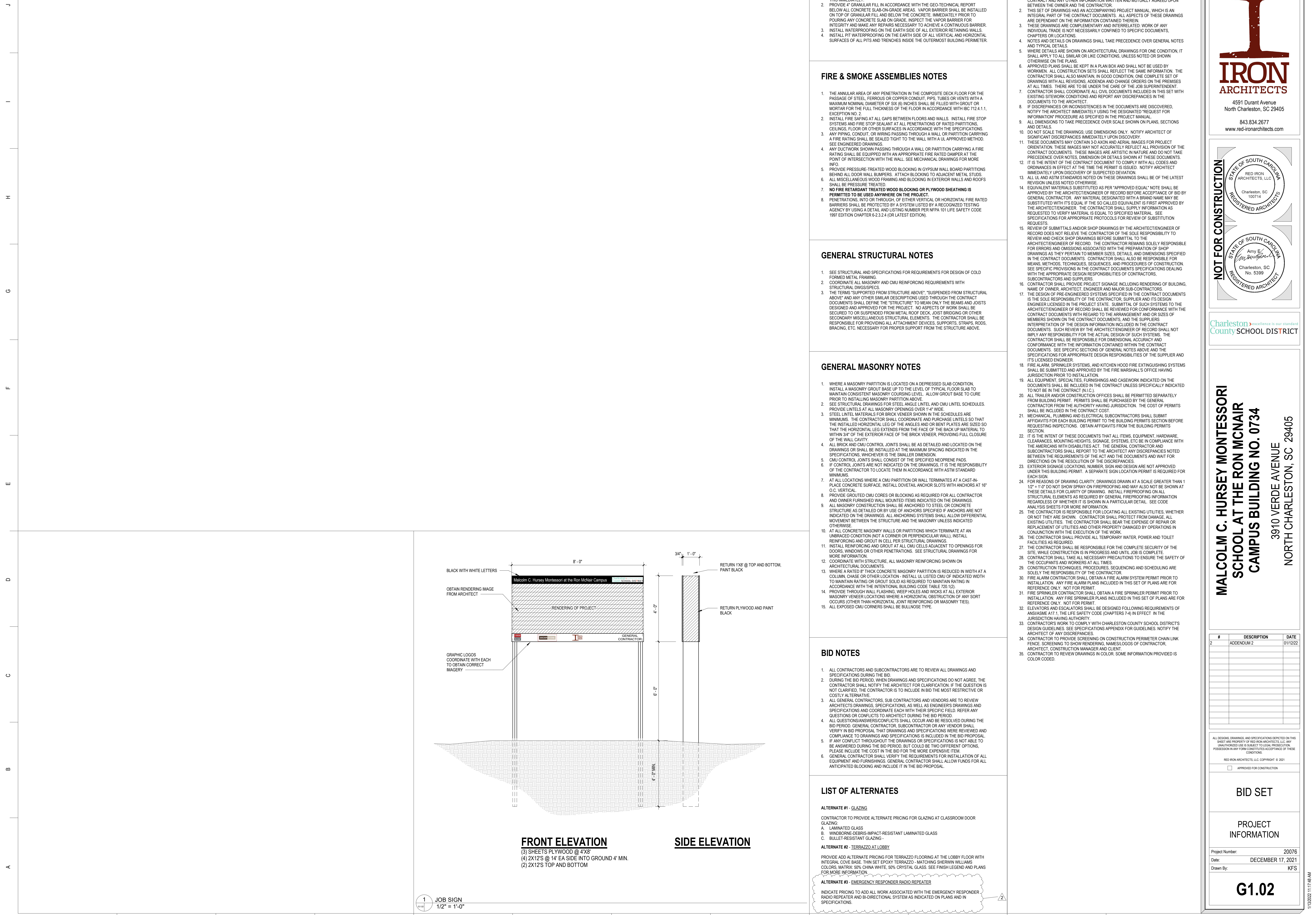
RESPONSIBILITY CHART

Item	Description	School District	Contractor	Manufacturer	A/E	Program Manager
1	List of Equipment	X			X	
2	Bidding Negotiations	X				X
3	Purchase Equipment	X				
4	Produce Equipment Shop Drawings			X		
5	Shop Drawing Approval	X			X	
6	Schedule Equipment Delivery Dates	X	X			X
7	Deliver to Jobsite			X		
8	Unload at Jobsite			X		
9	Inspect at Jobsite	X		X		X
10	Property Insurance	X				
11	Installation	X		X		
12	Equipment Startup	X		X		
13	Clean-up	X		X		
14	Protection of Installed Materials		X			
14	Warranty	(Labor) X		(Material) X		

END OF SECTION

OWNER FURNISHED PRODUCTS

016400



1 JOB SIGN
1/2" = 1'-0"

FRONT ELEVATION

- (3) SHEETS PLYWOOD @ 4'X8'
- (4) 2X12'S @ 14' EA SIDE INTO GROUND 4' MIN.
- (2) 2X12'S TOP AND BOTTOM

SIDE ELEVATION

BUILDING ENVELOPE NOTES

- IT IS THE INTENT OF THE DOCUMENTS TO PROVIDE A COMPLETELY WATERPROOF BUILDING ENVELOPE. REPORT TO ARCHITECT ANY CONDITION THAT WOULD PREVENT THIS IMMEDIATELY.
- PROVIDE 4" GRANULAR FILL IN ACCORDANCE WITH THE GEO-TECHNICAL REPORT BELOW ALL CONCRETE SLAB-ON-GRADE AREAS. VAPOR BARRIER SHALL BE INSTALLED ON TOP OF GRANULAR FILL AND BELOW THE CONCRETE. IMMEDIATELY PRIOR TO POURING ANY CONCRETE SLAB ON GRADE, INSPECT THE VAPOR BARRIER FOR INTEGRITY AND MAKE ANY REPAIRS NECESSARY TO ACHIEVE A CONTINUOUS BARRIER.
- INSTALL WATERPROOFING ON THE EARTH SIDE OF ALL EXTERIOR RETAINING WALLS.
- INSTALL PIT WATERPROOFING ON THE EARTH SIDE OF ALL VERTICAL AND HORIZONTAL SURFACES OF ALL PITS AND TRENCHES INSIDE THE OUTERMOST BUILDING PERIMETER.

FIRE & SMOKE ASSEMBLIES NOTES

- THE ANNULAR AREA OF ANY PENETRATION IN THE COMPOSITE DECK FLOOR FOR THE PASSAGE OF STEEL, FERROUS OR COPPER CONDUIT, PIPES, TUBES OR VENTS WITH A MAXIMUM NOMINAL DIAMETER OF SIX (6) INCHES SHALL BE FILLED WITH GROUT OR MORTAR FOR THE FULL THICKNESS OF THE FLOOR IN ACCORDANCE WITH IBC 712.4.1.1, EXCEPTION NO. 2.
- INSTALL FIRE SAFING AT ALL GAPS BETWEEN FLOORS AND WALLS. INSTALL FIRE STOP SYSTEMS AND FIRE STOP SEALANT AT ALL PENETRATIONS OF RATED PARTITIONS, CEILING, FLOOR OR OTHER SURFACES IN ACCORDANCE WITH THE SPECIFICATIONS.
- ANY PIPING, CONDUIT, OR WIRING PASSING THROUGH A WALL OR PARTITION CARRYING A FIRE RATING SHALL BE SEALED TIGHT TO THE WALL WITH A UL APPROVED METHOD. SEE ENGINEERED DRAWINGS.
- ANY DUCTWORK SHOWN PASSING THROUGH A WALL OR PARTITION CARRYING A FIRE RATING SHALL BE EQUIPPED WITH AN APPROPRIATE FIRE RATED DAMPER AT THE POINT OF INTERSECTION WITH THE WALL. SEE MECHANICAL DRAWINGS FOR MORE INFO.
- PROVIDE PRESSURE-TREATED WOOD BLOCKING IN GYPSUM WALL BOARD PARTITIONS BEHIND ALL DOOR WALL BUMPERS. ATTACH BLOCKING TO ADJACENT METAL STUDS.
- ALL MISCELLANEOUS WOOD FRAMING AND BLOCKING IN EXTERIOR WALLS AND ROOFS SHALL BE PRESSURE TREATED.
- NO FIRE RETARDANT TREATED WOOD BLOCKING OR PLYWOOD SHEATHING IS PERMITTED TO BE USED ANYWHERE ON THE PROJECT.**
- PENETRATIONS, INTO OR THROUGH, OF EITHER VERTICAL OR HORIZONTAL FIRE RATED BARRIERS SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY BY USING A DETAIL AND LISTING NUMBER PER NFPA 101 LIFE SAFETY CODE 1997 EDITION CHAPTER 6-2.3.2.4 (OR LATEST EDITION).

GENERAL STRUCTURAL NOTES

- SEE STRUCTURAL AND SPECIFICATIONS FOR REQUIREMENTS FOR DESIGN OF COLD FORMED METAL FRAMING.
- COORDINATE ALL MASONRY AND CMU REINFORCING REQUIREMENTS WITH STRUCTURAL DWGS/SPECS.
- THE TERMS "SUPPORTED FROM STRUCTURE ABOVE", "SUSPENDED FROM STRUCTURE ABOVE" AND ANY OTHER SIMILAR DESCRIPTIONS USED THROUGH THE CONTRACT DOCUMENTS SHALL DEFINE THE "STRUCTURE" TO MEAN ONLY THE BEAMS AND JOISTS DESIGNED AND APPROVED FOR THE PROJECT. NO ASPECTS OF WORK SHALL BE SECURED TO OR SUSPENDED FROM METAL ROOF DECK, JOIST BRIDGING OR OTHER SECONDARY MISCELLANEOUS STRUCTURAL ELEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL ATTACHMENT DEVICES, SUPPORTS, STRAPS, RODS, BRACING, ETC. NECESSARY FOR PROPER SUPPORT FROM THE STRUCTURE ABOVE.

GENERAL MASONRY NOTES

- WHERE A MASONRY PARTITION IS LOCATED ON A DEPRESSED SLAB CONDITION, INSTALL A MASONRY GROUT BASE UP TO THE LEVEL OF TYPICAL FLOOR SLAB TO MAINTAIN CONSISTENT MASONRY COURSING LEVEL. ALLOW GROUT BASE TO CURE PRIOR TO INSTALLING MASONRY PARTITION ABOVE.
- SEE STRUCTURAL DRAWINGS FOR STEEL ANGLE LINTEL AND CMU LINTEL SCHEDULES. PROVIDE LINTELS AT ALL MASONRY OPENINGS OVER 1'-4" WIDE.
- STEEL LINTEL MATERIALS FOR BRICK VENEER SHOWN IN THE SCHEDULES ARE MINIMUMS. THE CONTRACTOR SHALL COORDINATE AND PURCHASE LINTELS SO THAT THE INSTALLED HORIZONTAL LEG OF THE ANGLES AND OR BENT PLATES ARE SIZED SO THAT THE HORIZONTAL LEG EXTENDS FROM THE FACE OF THE BACK UP MATERIAL TO WITHIN 3/4" OF THE EXTERIOR FACE OF THE BRICK VENEER, PROVIDING FULL CLOSURE OF THE WALL CAVITY.
- ALL BRICK AND CMU CONTROL JOINTS SHALL BE AS DETAILED AND LOCATED ON THE DRAWINGS OR SHALL BE INSTALLED AT MAXIMUM SPACING INDICATED IN THE SPECIFICATIONS, WHICHEVER IS THE SMALLER DIMENSION.
- CMU CONTROL JOINTS SHALL CONSIST OF THE SPECIFIED NEOPRENE PADS.
- IF CONTROL JOINTS ARE NOT INDICATED ON THE DRAWINGS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THEM IN ACCORDANCE WITH ASTM STANDARD MINIMUMS.
- AT ALL LOCATIONS WHERE A CMU PARTITION OR WALL TERMINATES AT A CAST-IN-PLACE CONCRETE SURFACE, INSTALL DOVETAIL ANCHOR SLOTS WITH ANCHORS AT 16" O.C. VERTICAL.
- PROVIDE GROUTED CMU CORES OR BLOCKING AS REQUIRED FOR ALL CONTRACTOR AND OWNER FURNISHED WALL MOUNTED ITEMS INDICATED ON THE DRAWINGS.
- ALL MASONRY CONSTRUCTION SHALL BE ANCHORED TO STEEL OR CONCRETE STRUCTURE AS DETAILED OR BY USE OF ANCHORS SPECIFIED IF ANCHORS ARE NOT INDICATED ON THE DRAWINGS. ALL ANCHORING SYSTEMS SHALL ALLOW DIFFERENTIAL MOVEMENT BETWEEN THE STRUCTURE AND THE MASONRY UNLESS INDICATED OTHERWISE.
- AT ALL CONCRETE MASONRY WALLS OR PARTITIONS WHICH TERMINATE AT AN UNBRACED CONDITION (NOT A CORNER OR PERPENDICULAR WALL), INSTALL REINFORCING AND GROUT IN CELL PER STRUCTURAL DRAWINGS.
- INSTALL REINFORCING AND GROUT AT ALL CMU CELLS ADJACENT TO OPENINGS FOR DOORS, WINDOWS OR OTHER PENETRATIONS. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- COORDINATE WITH STRUCTURE, ALL MASONRY REINFORCING SHOWN ON ARCHITECTURAL DOCUMENTS.
- WHERE A RATED 6" THICK CONCRETE MASONRY PARTITION IS REDUCED IN WIDTH AT A COLUMN, CHASE OR OTHER LOCATION, INSTALL UL LISTED CMU OF INDICATED WIDTH TO MAINTAIN RATING OR GROUT SOLID AS REQUIRED TO MAINTAIN RATING IN ACCORDANCE WITH THE INTENTIONAL BUILDING CODE TABLE 703.1(2).
- PROVIDE THROUGH WALL FLASHINGS, WEED HOLES AND WICKS AT ALL EXTERIOR MASONRY VENEER LOCATIONS WHERE A HORIZONTAL OBSTRUCTION OF ANY SORT OCCURS (OTHER THAN HORIZONTAL JOINT REINFORCING OR MASONRY TIES).
- ALL EXPOSED CMU CORNERS SHALL BE BULLNOSE TYPE.

BID NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS ARE TO REVIEW ALL DRAWINGS AND SPECIFICATIONS DURING THE BID PERIOD.
- DURING THE BID PERIOD, WHEN DRAWINGS AND SPECIFICATIONS DO NOT AGREE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. IF THE QUESTION IS NOT CLARIFIED, THE CONTRACTOR IS TO INCLUDE IN BID THE MOST RESTRICTIVE OR COSTLY ALTERNATIVE.
- ALL GENERAL CONTRACTORS, SUB CONTRACTORS AND VENDORS ARE TO REVIEW ARCHITECT'S DRAWINGS, SPECIFICATIONS, AS WELL AS ENGINEERS DRAWINGS AND SPECIFICATIONS AND COORDINATE EACH WITH THEIR SPECIFIC FIELD. REFER ANY QUESTIONS OR CONFLICTS TO ARCHITECT DURING THE BID PERIOD.
- ALL QUESTIONS/ANSWERS/CONFLICTS SHALL OCCUR AND BE RESOLVED DURING THE BID PERIOD. GENERAL CONTRACTOR, SUBCONTRACTOR OR ANY VENDOR SHALL VERIFY IN BID PROPOSAL THAT DRAWINGS AND SPECIFICATIONS WERE REVIEWED AND COMPLIANCE TO DRAWINGS AND SPECIFICATIONS IS INCLUDED IN THE BID PROPOSAL. IF ANY CONFLICT THROUGHOUT THE DRAWINGS OR SPECIFICATIONS IS NOT ABLE TO BE ANSWERED DURING THE BID PERIOD, BUT COULD BE TWO DIFFERENT OPTIONS, PLEASE INCLUDE THE COST IN THE BID FOR THE MORE EXPENSIVE ITEM.
- GENERAL CONTRACTOR SHALL VERIFY THE REQUIREMENTS FOR INSTALLATION OF ALL EQUIPMENT AND FURNISHINGS. GENERAL CONTRACTOR SHALL ALLOW FUNDS FOR ALL ANTICIPATED BLOCKING AND INCLUDE IT IN THE BID PROPOSAL.

LIST OF ALTERNATES

ALTERNATE #1 - GLAZING

CONTRACTOR TO PROVIDE ALTERNATE PRICING FOR GLAZING AT CLASSROOM DOOR GLAZING:

- A. LAMINATED GLASS
- B. WINDBORNE-DEBRIS-IMPACT RESISTANT LAMINATED GLASS
- C. BULLET-RESISTANT GLAZING

ALTERNATE #2 - TERRAZZO AT LOBBY

PROVIDE ADD ALTERNATE PRICING FOR TERRAZZO FLOORING AT THE LOBBY FLOOR WITH INTEGRAL COVE BASE, THIN SET EPOXY TERRAZZO - MATCHING SHERWIN WILLIAMS COLORS, MATRIX 50% CHINA WHITE, 50% CRYSTAL GLASS. SEE FINISH LEGEND AND PLANS FOR MORE INFORMATION.

ALTERNATE #3 - EMERGENCY RESPONDER RADIO REPEATER

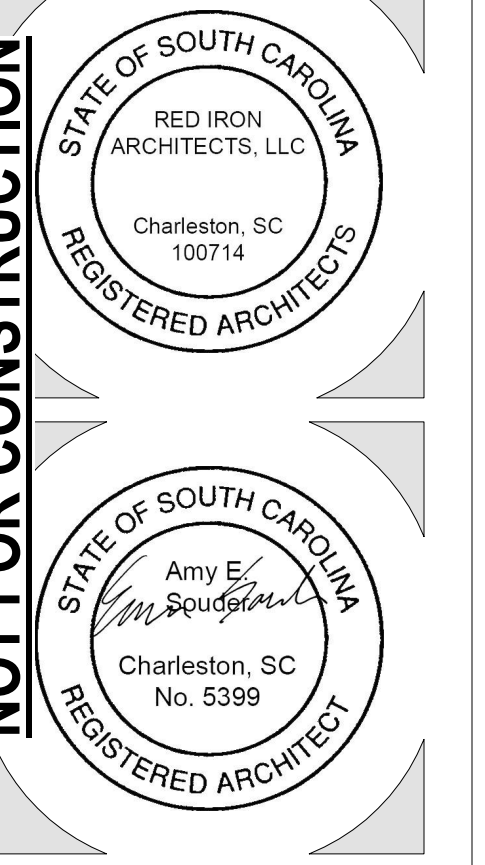
INDICATE PRICING TO ADD ALL WORK ASSOCIATED WITH THE EMERGENCY RESPONDER RADIO REPEATER AND BI-DIRECTIONAL SYSTEM AS INDICATED ON PLANS AND IN SPECIFICATIONS.

GENERAL NOTES

- THE CONTRACT DOCUMENTS CONSIST OF THIS SET OF DRAWINGS, THE PROJECT MANUAL, ADDENDA, CONSTRUCTION CHANGE DIRECTIVES, CHANGE ORDERS, THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR, CONDITIONS OF THE CONTRACT AND ANY OTHER INFORMATION WRITTEN AND MUTUALLY AGREED UPON BETWEEN THE OWNER AND THE CONTRACTOR.
- THIS SET OF DRAWINGS HAS AN ACCOMPANYING PROJECT MANUAL, WHICH IS AN INTEGRAL PART OF THE CONTRACT DOCUMENTS. ALL ASPECTS OF THESE DRAWINGS ARE DEPENDANT ON THE INFORMATION CONTAINED THEREIN.
- THESE DRAWINGS ARE COMPLEMENTARY AND INTERRELATED. WORK OF ANY INDIVIDUAL TRADE IS NOT NECESSARILY CONFINED TO SPECIFIC DOCUMENTS, CHAPTERS OR LOCATIONS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- WHERE DETAILS ARE SHOWN ON ARCHITECTURAL DRAWINGS FOR ONE CONDITION, IT SHALL APPLY TO ALL SIMILAR OR LIKE CONDITIONS, UNLESS NOTED OR SHOWN OTHERWISE ON THE PLANS.
- APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF DRAWINGS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THERE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- CONTRACTOR SHALL COORDINATE ALL CIVIL DOCUMENTS INCLUDED IN THIS SET WITH EXISTING SITEWORK CONDITIONS AND REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT.
- IF DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS ARE DISCOVERED, NOTIFY THE ARCHITECT IMMEDIATELY USING THE DESIGNATED "REQUEST INFORMATION" PROCEDURE AS SPECIFIED IN THE PROJECT MANUAL.
- ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.
- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS ONLY. NOTIFY ARCHITECT OF SIGNIFICANT DISCREPANCIES IMMEDIATELY UPON DISCOVERY.
- THESE DOCUMENTS MAY CONTAIN 3-D AXON AND AERIAL IMAGES FOR PROJECT ORIENTATION. THESE IMAGES MAY NOT ACCURATELY REFLECT ALL PROVISION OF THE CONTRACT DOCUMENTS. THESE IMAGES ARE ARTISTIC IN NATURE AND DO NOT TAKE PRECEDENCE OVER NOTES, DIMENSION OR DETAILS SHOWN AT THESE DOCUMENTS.
- IT IS THE INTENT OF THE CONTRACT DOCUMENT TO COMPLY WITH ALL CODES AND ORDINANCES IN EFFECT AT THE TIME THE PERMIT IS ISSUED. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF SUSPECTED VIOLATION.
- ALL UL AND ASTM STANDARDS NOTED ON THESE DRAWINGS SHALL BE OF THE LATEST REVISION UNLESS NOTED OTHERWISE.
- EQUIVALENT MATERIALS SUBSTITUTED AS PER "APPROVED EQUAL" NOTE SHALL BE APPROVED BY THE ARCHITECT/ENGINEER OR RECORD BEFORE ACCEPTANCE OF BID BY GENERAL CONTRACTOR. ANY MATERIAL DESIGNATED WITH A BRAND NAME MAY BE SUBSTITUTED WITH ITS EQUAL IF THE SO CALLED EQUIVALENT IS FIRST APPROVED BY THE ARCHITECT/ENGINEER. THE CONTRACTOR SHALL SUPPLY INFORMATION AS REQUESTED TO VERIFY MATERIAL IS EQUAL TO SPECIFIED MATERIAL. SEE SPECIFICATIONS FOR APPROPRIATE PROTOCOLS FOR REVIEW OF SUBSTITUTION REQUESTS.
- REVIEW OF SUBMITTALS AND/OR SHOP DRAWINGS BY THE ARCHITECT/ENGINEER OF RECORD DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL TO THE ARCHITECT/ENGINEER OF RECORD. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION. SEE SPECIFIC PROVISIONS IN THE CONTRACT DOCUMENTS SPECIFICATIONS DEALING WITH THE APPROPRIATE DESIGN RESPONSIBILITIES OF CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS.
- CONTRACTOR SHALL PROVIDE PROJECT SIGNAGE INCLUDING RENDERING OF BUILDING, NAME OF OWNER, ARCHITECT, ENGINEER AND MAJOR SUB-CONTRACTORS.
- THE DESIGN OF PRE-ENGINEERED SYSTEMS SPECIFIED IN THE CONTRACT DOCUMENTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, SUPPLIER AND ITS DESIGN ENGINEER LICENSED IN THE PROJECT STATE. SUBMITTAL OF SUCH SYSTEMS TO THE ARCHITECT/ENGINEER OF RECORD SHALL BE REVIEWED FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS WITH REGARD TO THE ARRANGEMENT AND OR SIZES OF MEMBERS SHOWN ON THE CONTRACT DOCUMENTS, AND THE SUPPLIER'S INTERPRETATION OF THE DESIGN INFORMATION INCLUDED IN THE CONTRACT DOCUMENTS. SUCH REVIEW BY THE ARCHITECT/ENGINEER OF RECORD SHALL NOT IMPLY ANY RESPONSIBILITY FOR THE ACTUAL DESIGN OF SUCH SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DIMENSIONAL ACCURACY AND CONFORMANCE WITH THE INFORMATION CONTAINED WITHIN THE CONTRACT DOCUMENTS. SEE SPECIFIC SECTIONS OF GENERAL NOTES ABOVE AND THE SPECIFICATIONS FOR APPROPRIATE DESIGN RESPONSIBILITIES OF THE SUPPLIER AND ITS LICENSED ENGINEER.
- FIRE ALARM, SPRINKLER SYSTEMS, AND KITCHEN HOOD FIRE EXTINGUISHING SYSTEMS SHALL BE SUBMITTED AND APPROVED BY THE FIRE MARSHALL'S OFFICE HAVING JURISDICTION PRIOR TO INSTALLATION.
- ALL EQUIPMENT, SPECIALTIES, FURNISHINGS AND CASEWORK INDICATED ON THE DOCUMENTS SHALL BE INCLUDED IN THE CONTRACT UNLESS SPECIFICALLY INDICATED TO NOT BE IN THE CONTRACT (N.I.C.).
- ALL TRAILER AND/OR CONSTRUCTION OFFICES SHALL BE PERMITTED SEPARATELY FROM BUILDING PERMIT. PERMITS SHALL BE PURCHASED BY THE GENERAL CONTRACTOR FROM THE AUTHORITY HAVING JURISDICTION. THE COST OF PERMITS SHALL BE INCLUDED IN THE CONTRACT COST.
- MECHANICAL, PLUMBING AND ELECTRICAL SUBCONTRACTORS SHALL SUBMIT AFFIDAVITS FOR EACH BUILDING PERMIT TO THE BUILDING PERMITS SECTION BEFORE REQUESTING INSPECTIONS. OBTAIN AFFIDAVITS FROM THE BUILDING PERMITS SECTION.
- IT IS THE INTENT OF THESE DOCUMENTS THAT ALL ITEMS, EQUIPMENT, HARDWARE, CLEARANCES, MOUNTING HEIGHTS, SIGNAGE, SYSTEMS, ETC BE IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES NOTED BETWEEN THE REQUIREMENTS OF THE ACT AND THE DOCUMENTS AND WAIT FOR DIRECTIONS ON THE RESOLUTION OF THE DISCREPANCIES.
- EXTERIOR SIGNAGE LOCATIONS, NUMBER, SIGN AND DESIGN ARE NOT APPROVED UNDER THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.
- FOR REASONS OF DRAWING CLARITY, DRAWINGS DRAWN AT A SCALE GREATER THAN 1/2" = 1'-0" DO NOT SHOW SPRAY ON FIREPROOFING AND MAY ALSO NOT BE SHOWN AT THESE DETAILS FOR CLARITY OF DRAWING. INSTALL FIREPROOFING ON ALL STRUCTURAL ELEMENTS AS REQUIRED BY GENERAL FIREPROOFING INFORMATION REGARDLESS OF WHETHER IT IS SHOWN IN A PARTICULAR DETAIL. SEE CODE ANALYSIS SHEETS FOR MORE INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, WHETHER OR NOT THEY ARE SHOWN. CONTRACTOR SHALL PROTECT FROM DAMAGE, ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES AND OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE, WHILE CONSTRUCTION IS IN PROGRESS AND UNTIL JOB IS COMPLETE.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
- CONSTRUCTION TECHNIQUES, PROCEDURES, SEQUENCING AND SCHEDULING ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- FIRE ALARM CONTRACTOR SHALL OBTAIN A FIRE ALARM SYSTEM PERMIT PRIOR TO INSTALLATION. ANY FIRE ALARM PLANS INCLUDED IN THIS SET OF PLANS ARE FOR REFERENCE ONLY. NOT FOR PERMIT.
- FIRE SPRINKLER CONTRACTOR SHALL OBTAIN A FIRE SPRINKLER PERMIT PRIOR TO INSTALLATION. ANY FIRE SPRINKLER PLANS INCLUDED IN THIS SET OF PLANS ARE FOR REFERENCE ONLY. NOT FOR PERMIT.
- ELEVATORS AND ESCALATORS SHALL BE DESIGNED FOLLOWING REQUIREMENTS OF ANSI/ASME A17.1, THE LIFE SAFETY CODE (CHAPTERS 7-4) IN EFFECT IN THE JURISDICTION HAVING AUTHORITY.
- CONTRACTORS WORK TO COMPLY WITH CHARLESTON COUNTY SCHOOL DISTRICT'S DESIGN GUIDELINES. SEE SPECIFICATIONS APPENDIX FOR GUIDELINES. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR TO PROVIDE SCREENING ON CONSTRUCTION PERIMETER CHAIN LINK FENCE, SCREENING TO SHOW RENDERING, NAME/LOGOS OF CONTRACTOR ARCHITECT, CONSTRUCTION MANAGER AND CLIENT.
- CONTRACTOR TO REVIEW DRAWINGS IN COLOR. SOME INFORMATION PROVIDED IS COLOR CODED.



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North Charleston, SC 29405
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Charleston County SCHOOL DISTRICT

MALCOLM C. HURSEY MONTESORRI SCHOOL AT THE RON MCNAIR CAMPUS BUILDING NO. 0734
3910 VERDE AVENUE
NORTH CHARLESTON, SC 29405

#	DESCRIPTION	DATE
2	ADDENDUM 2	01/12/22

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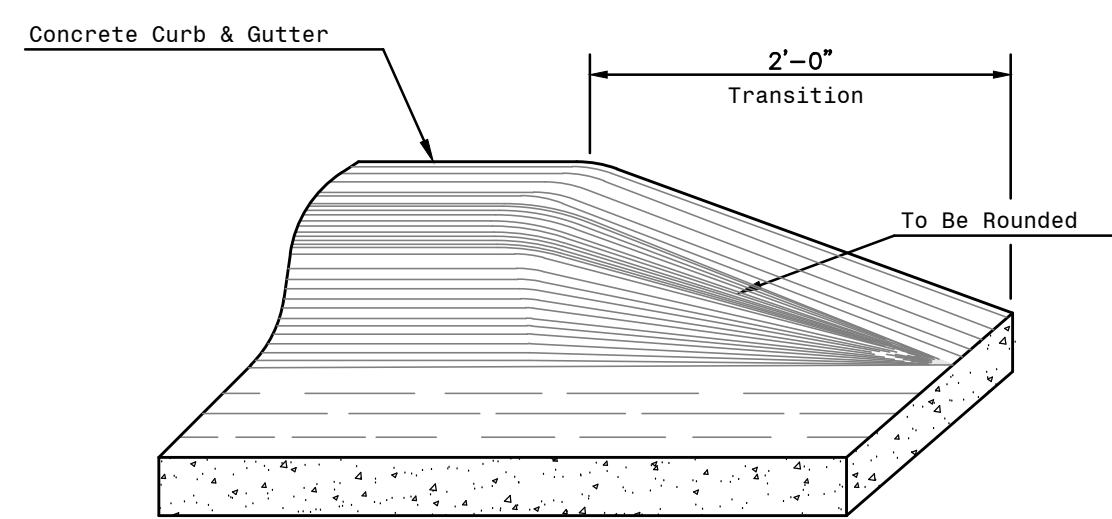
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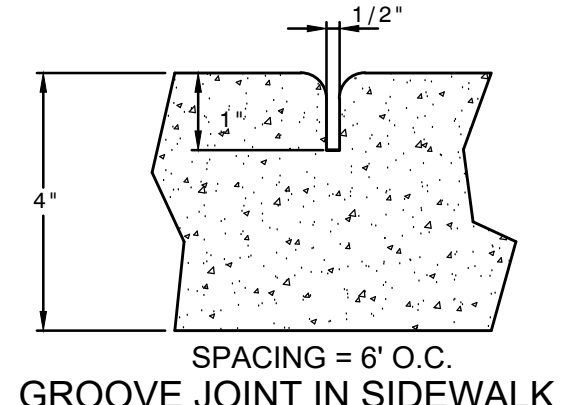
PROJECT INFORMATION

Project Number: 20076
Date: DECEMBER 17, 2021
Drawn By: KFS

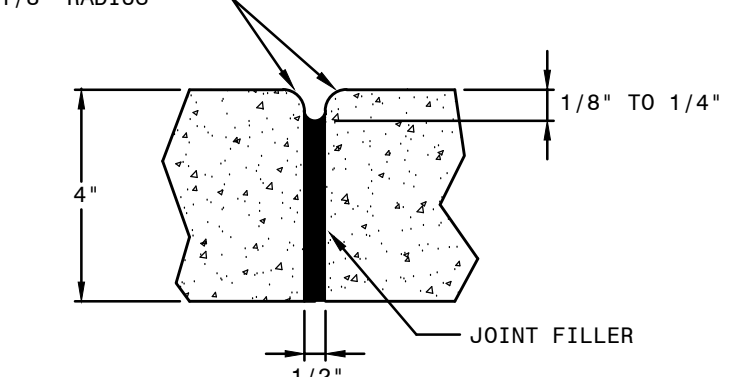
G1.02



FEATHERING CURB AND GUTTER DETAIL
NTS

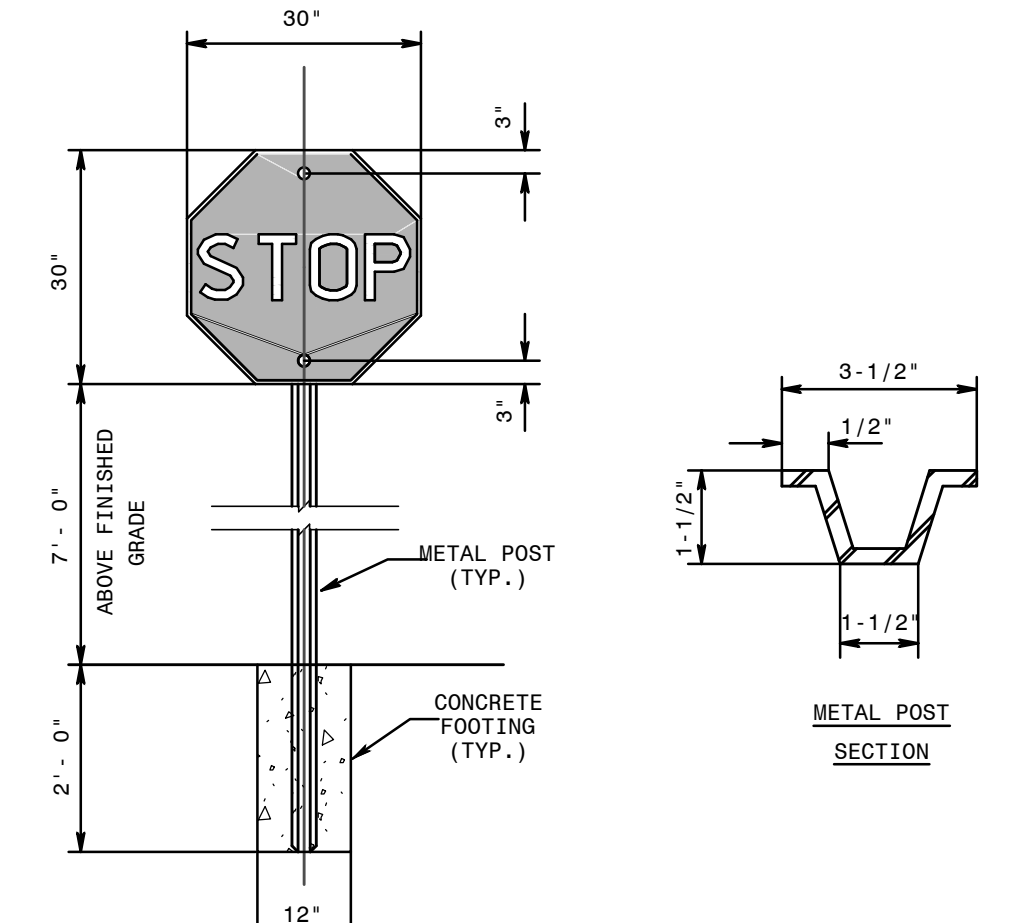


SPACING = 6' O.C.
GROOVE JOINT IN SIDEWALK



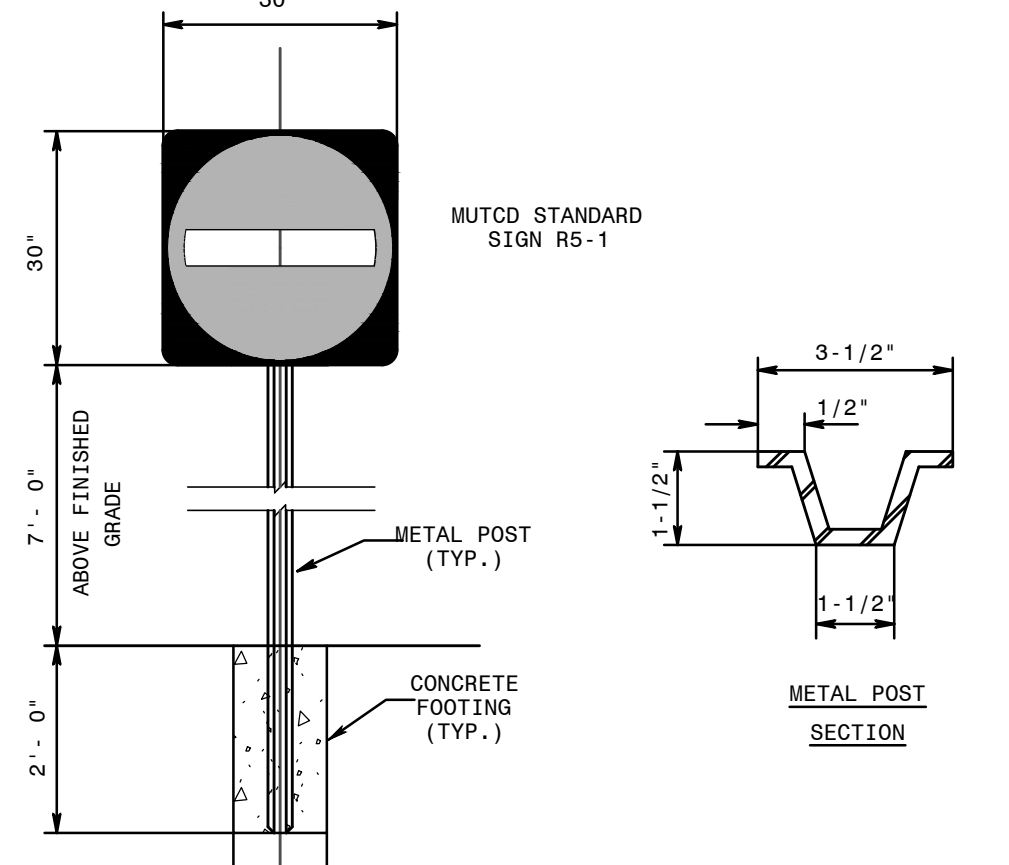
SPACING = 30' O.C.
TRANSVERSE EXPANSION JOINT IN SIDEWALK

COLORS:
BACKGROUND - RED
LETTERING - WHITE
BORDER - WHITE

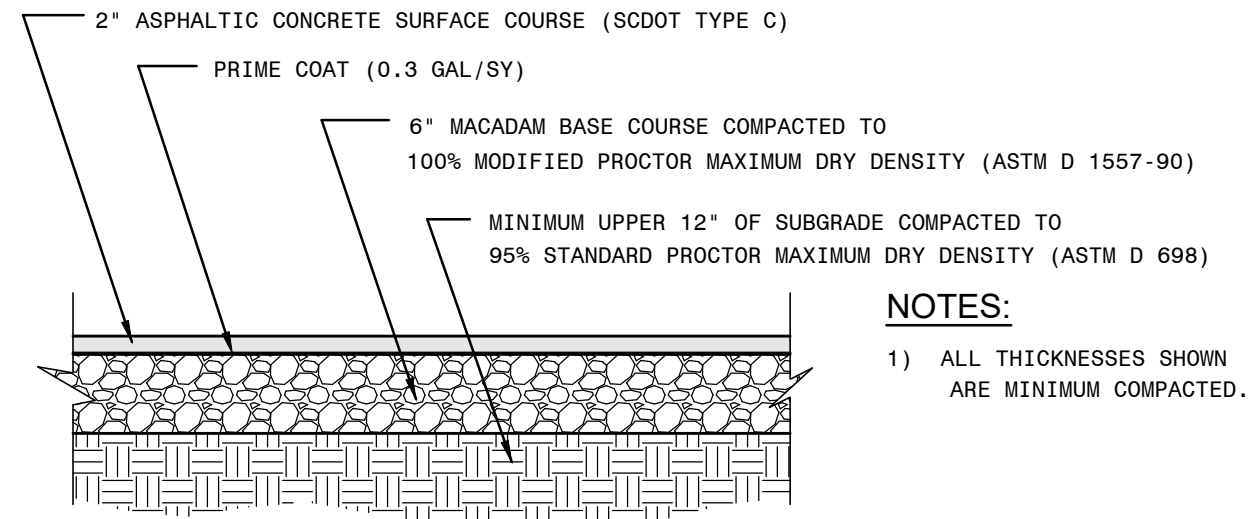


SCDOT STOP SIGN
NTS

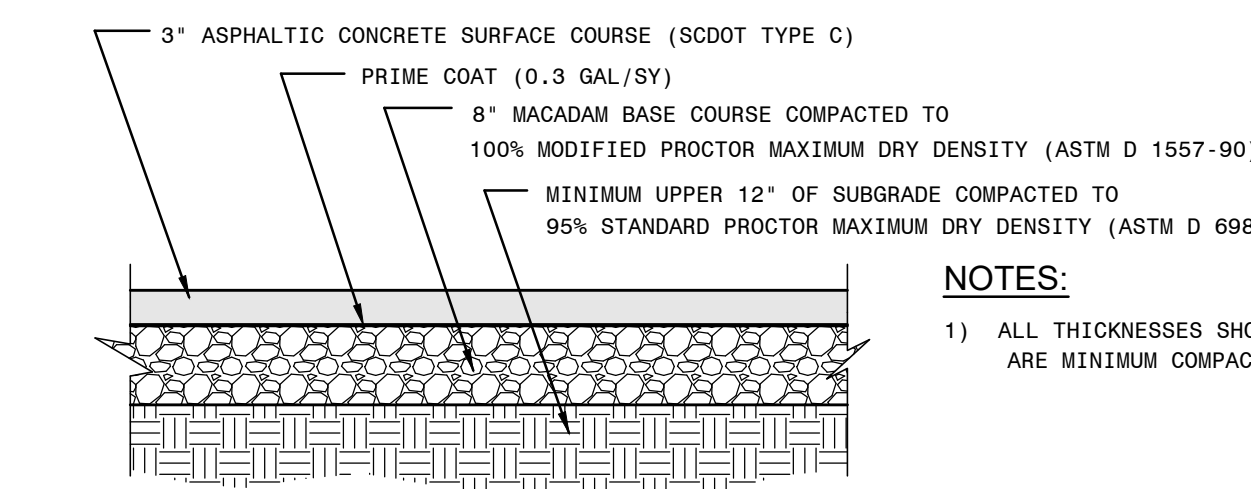
COLORS:
CIRCLE BACKGROUND - RED
LETTERING - WHITE
BORDER - WHITE



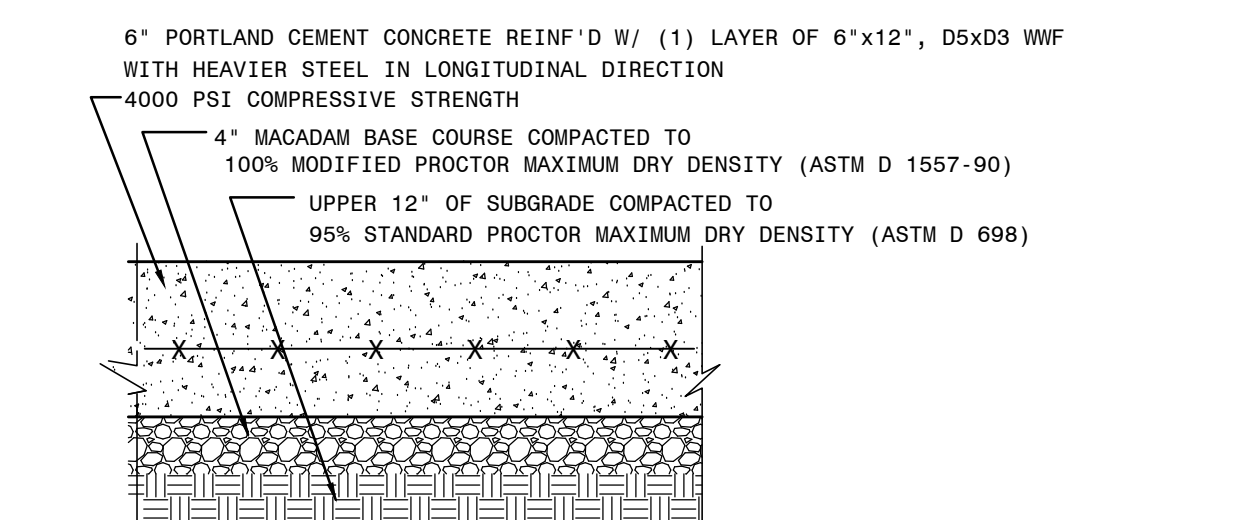
DO NOT ENTER SIGN
NTS



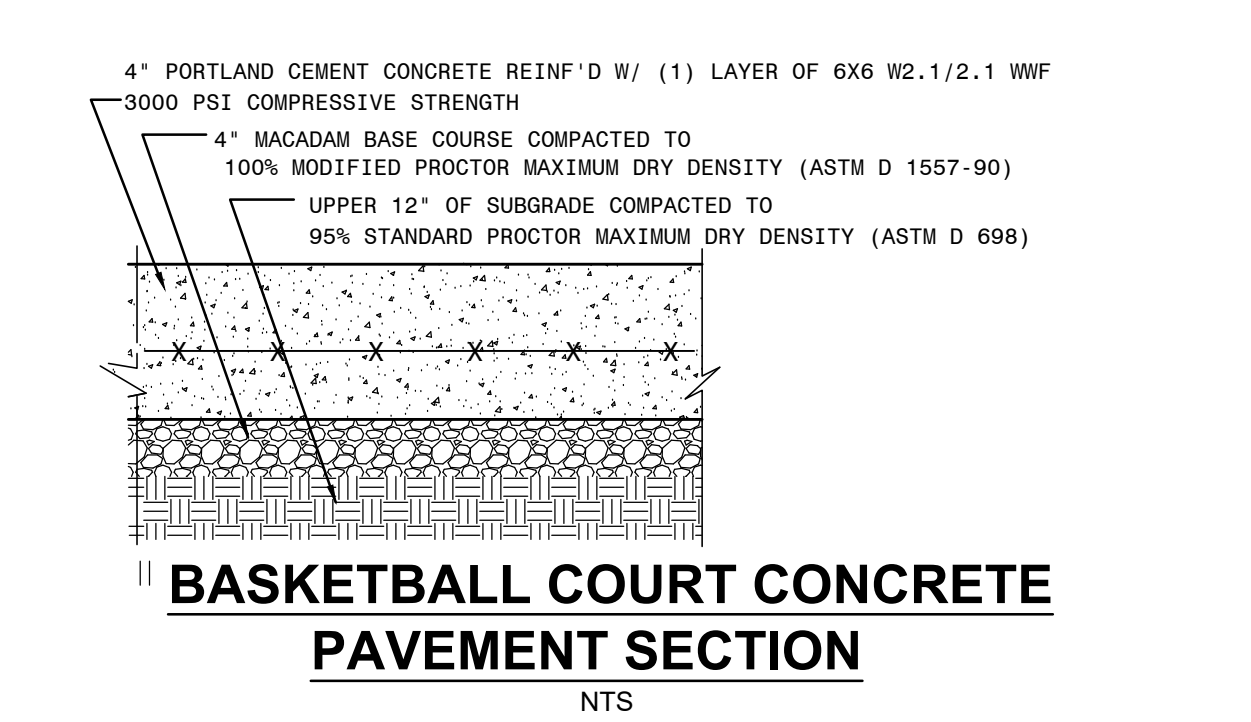
LIGHT DUTY ASPHALT PAVEMENT SECTION
NTS



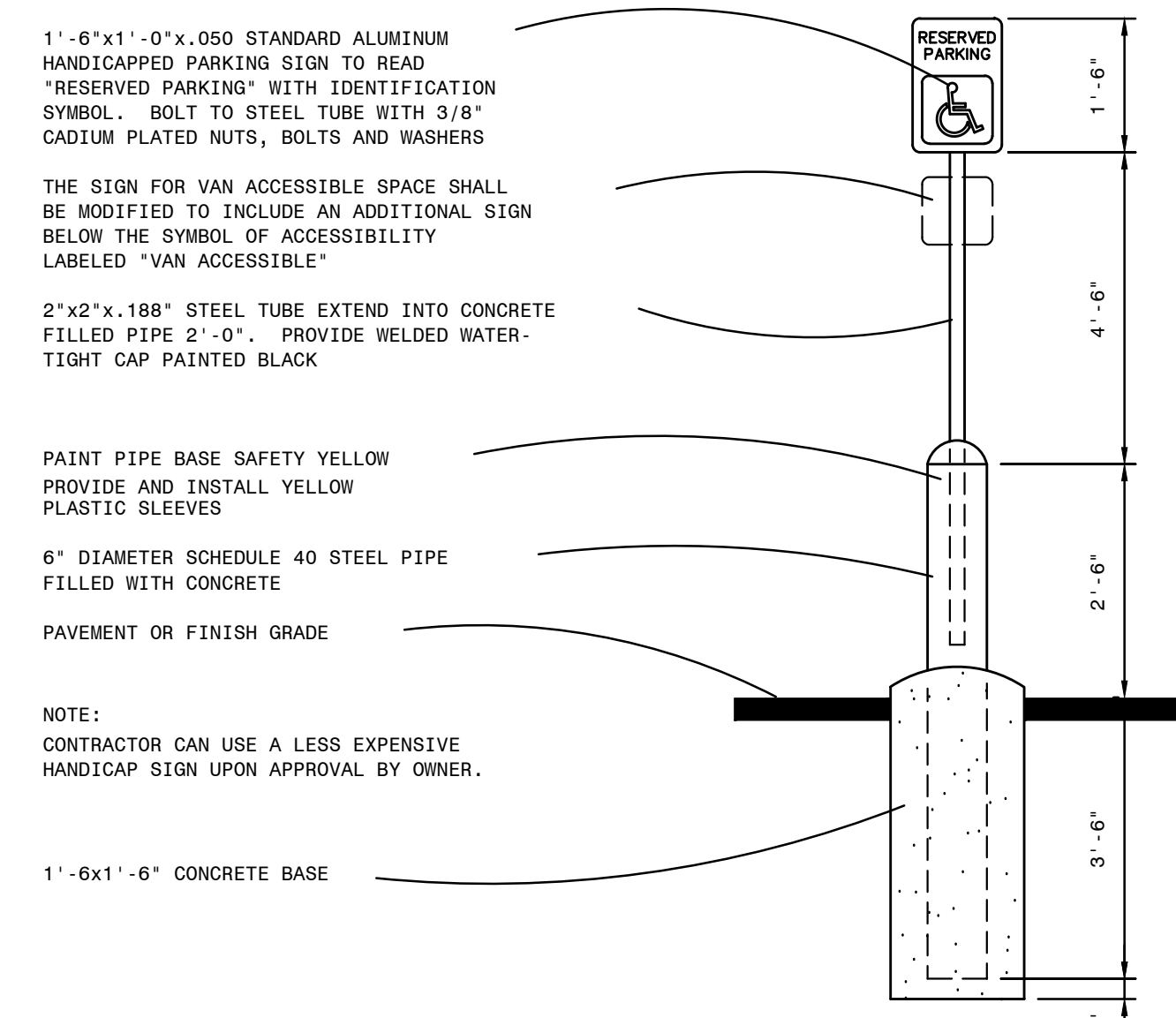
HEAVY DUTY ASPHALT PAVEMENT SECTION
NTS



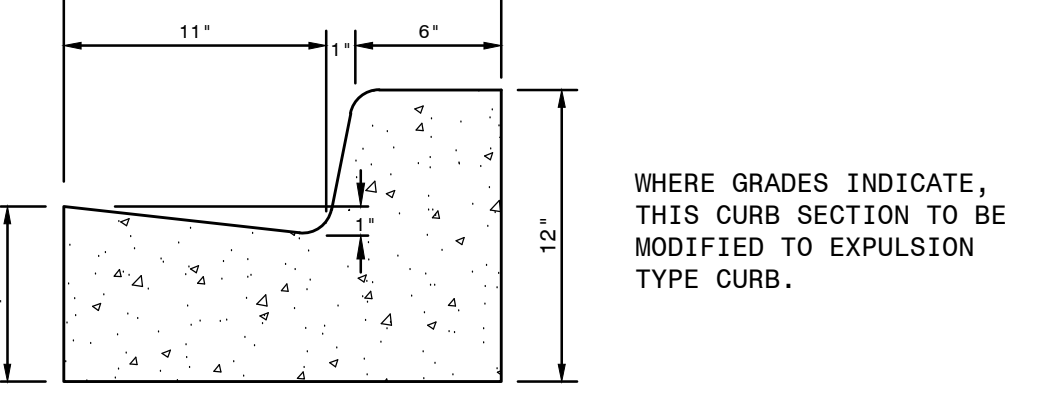
HEAVY-DUTY CONCRETE PAVEMENT SECTION
NTS



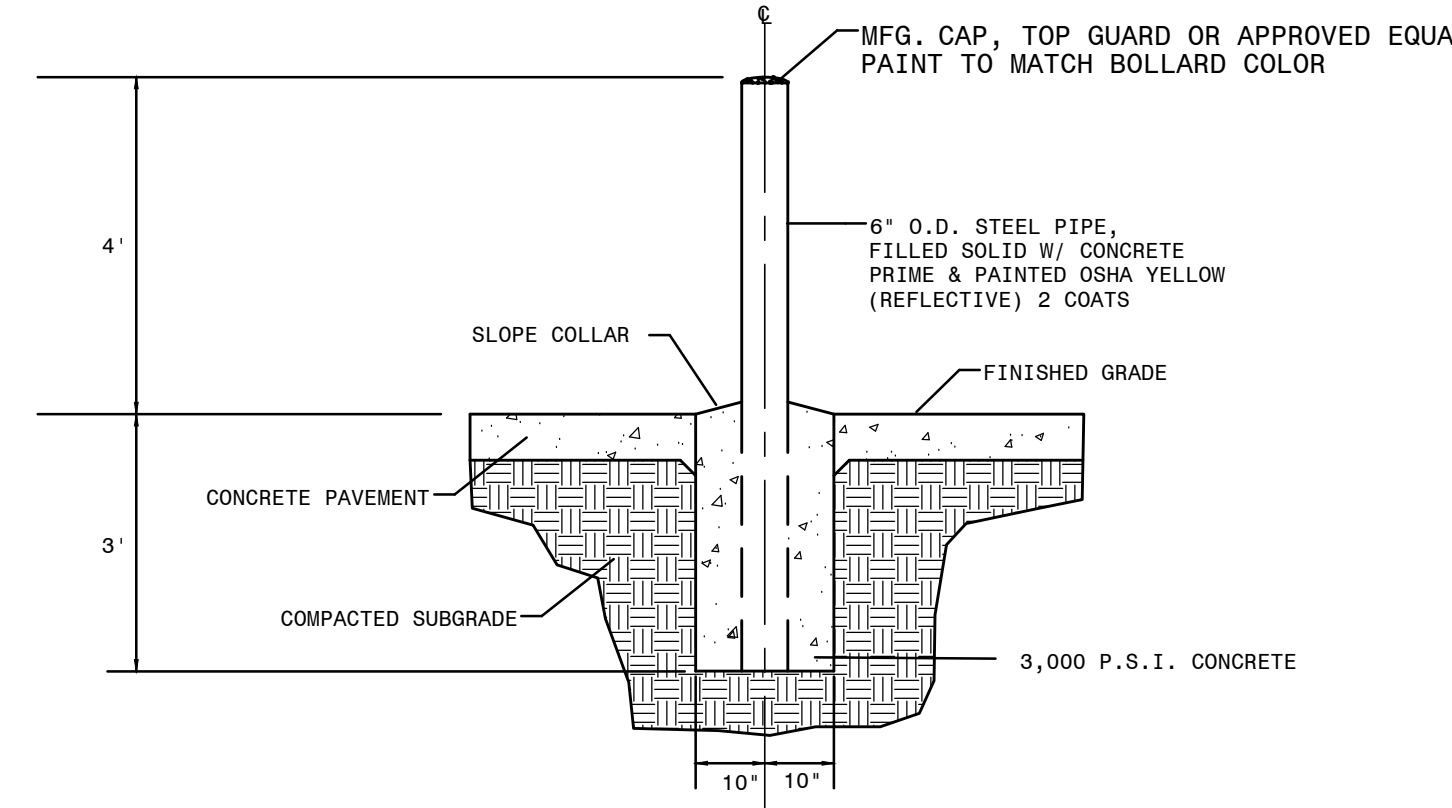
BASKETBALL COURT CONCRETE PAVEMENT SECTION
NTS



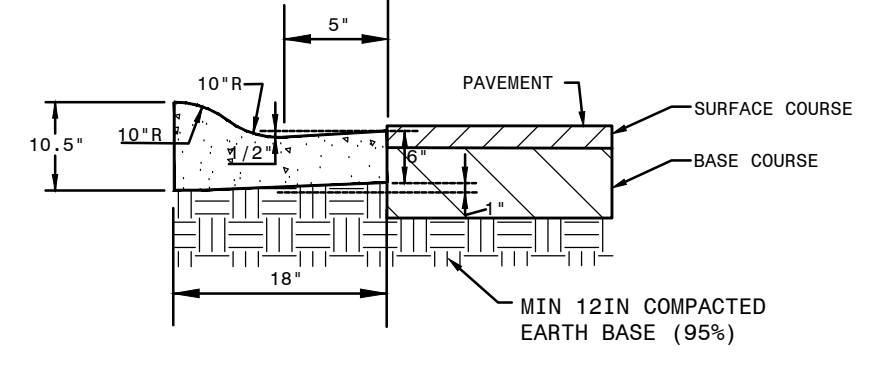
TYPICAL HANDICAP PARKING SIGN
NTS



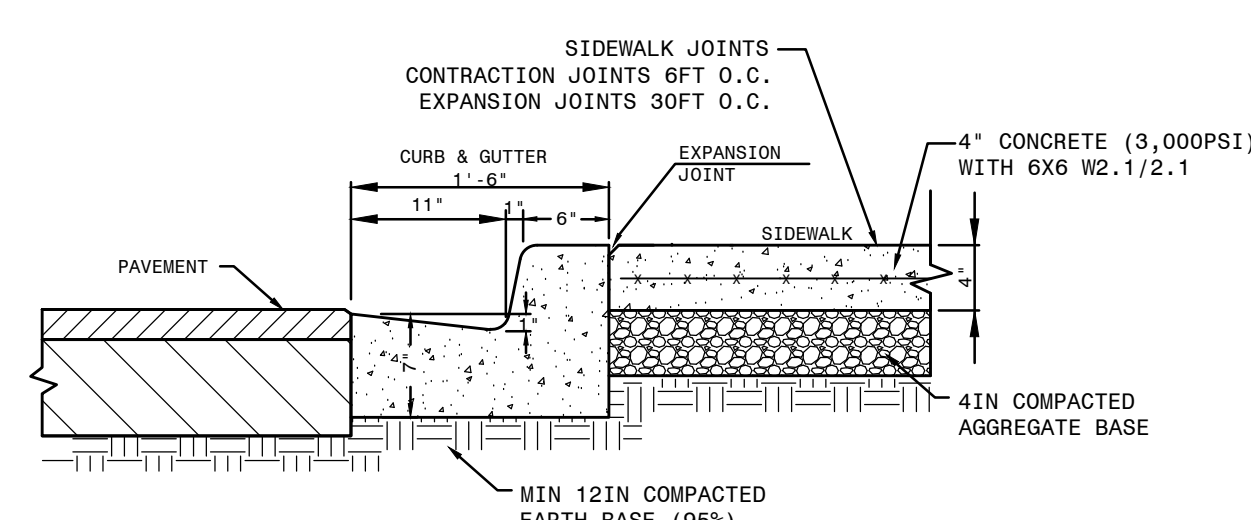
"L" TYPE CURB AND GUTTER
Min. Concrete Strength = 3000 p.s.i.
NTS



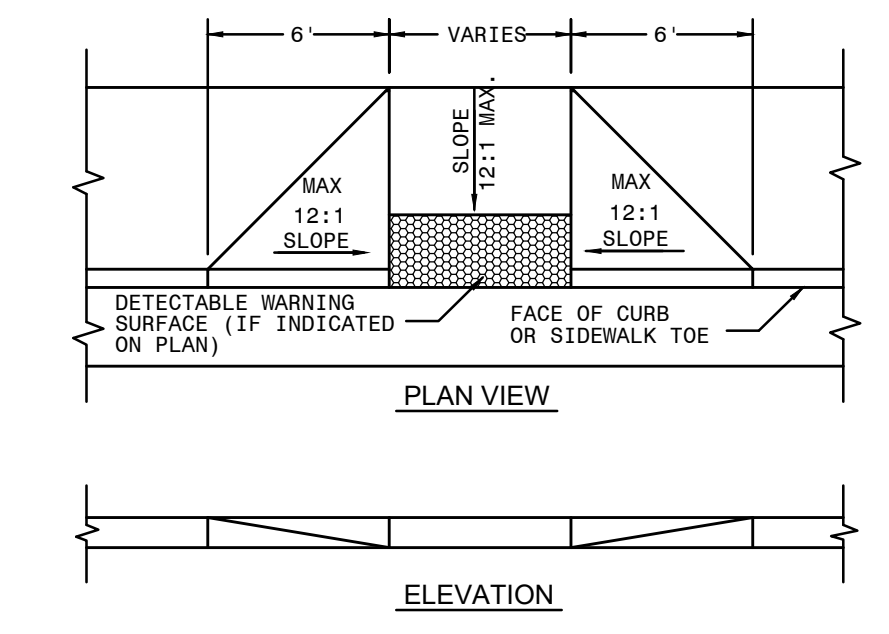
STEEL PIPE BOLLARD
NTS



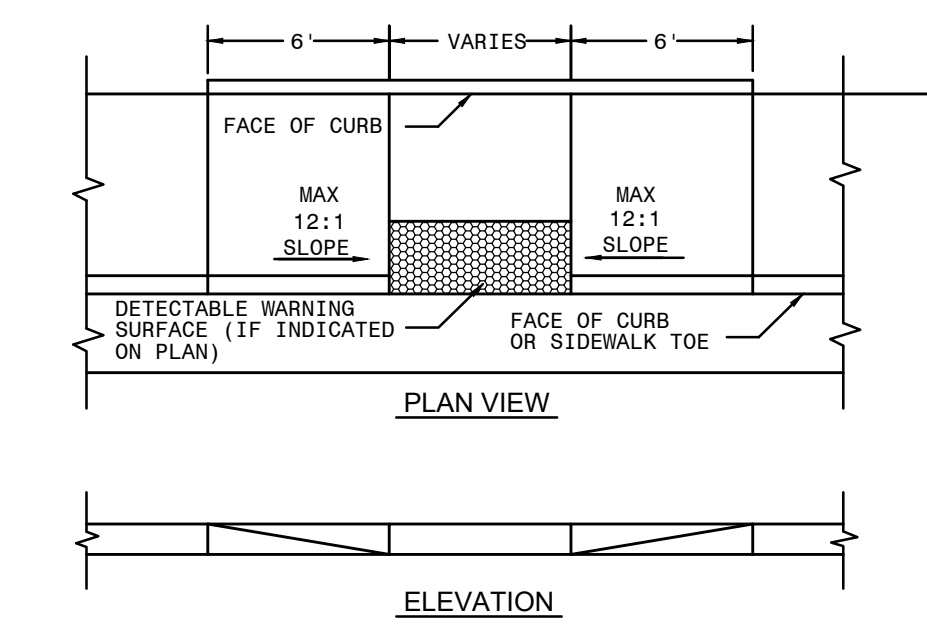
18" WIDE ROLLED CONCRETE CURB & GUTTER
NTS



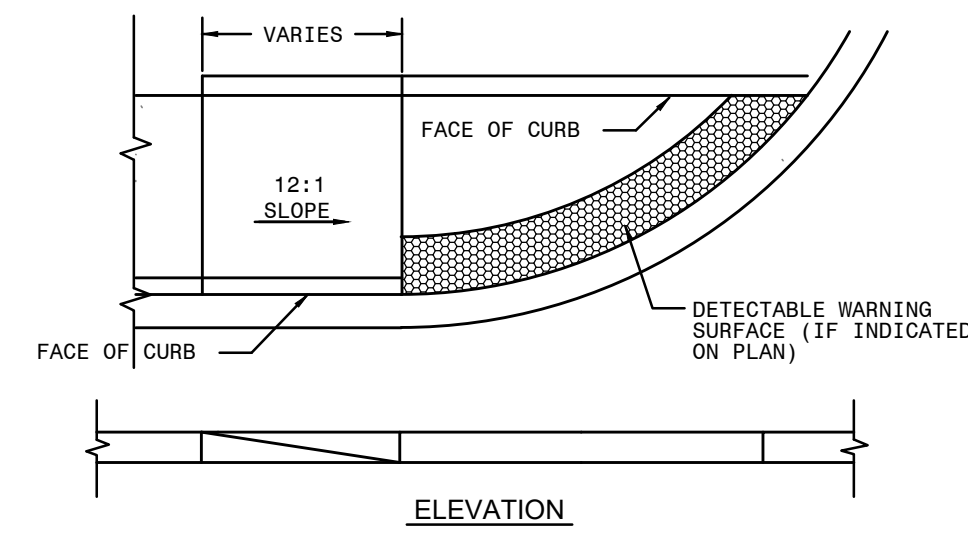
18" WIDE "L" TYPE CONCRETE CURB & GUTTER & SIDEWALK DETAIL
NTS



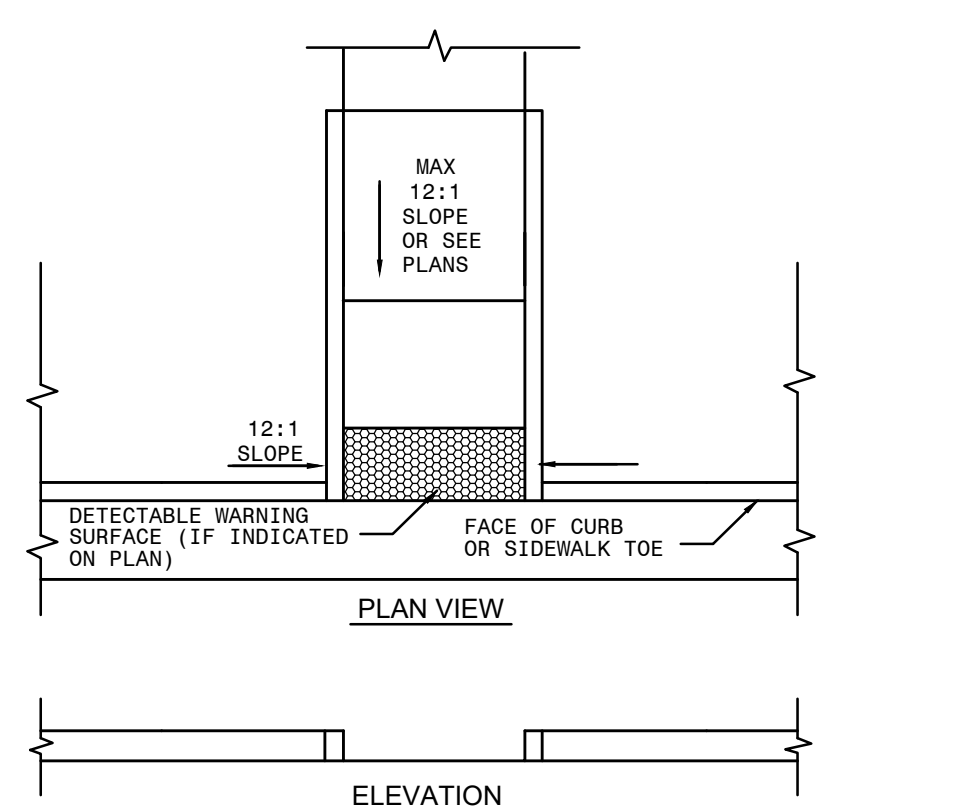
ACCESSIBLE CURB CUT DETAIL
NTS



INLINE ACCESSIBLE CURB CUT DETAIL
NTS



ACCESSIBLE CURB CUT AT RADIUS DETAIL
NTS



PERPENDICULAR ACCESSIBLE CURB CUT DETAIL
NTS

shawgrass®
2-5' fall system drains 130 inches per hour
054SG Playsafe 50 Turf System
139SG Playsafe 40 Turf System

SYNTHETIC TURF SYSTEM FOR 2-5' FALL
NTS

- COORDINATE WITH SCHOOL DISTRICT FOR LOCATION
- INSTALL BASE MATERIAL & TURF SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS & REQUIREMENTS
- INSTALL CONCRETE CURB AS NECESSARY FOR TURF SYSTEM INSTALLATION.

shawgrass®
6-8' fall system drains 150 inches per hour
054SG Playsafe 50 Turf System
139SG Playsafe 40 Turf System

SYNTHETIC TURF SYSTEM FOR 6-8' FALL
NTS

- COORDINATE WITH SCHOOL DISTRICT FOR LOCATION
- INSTALL BASE MATERIAL & TURF SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS & REQUIREMENTS
- INSTALL CONCRETE CURB AS NECESSARY FOR TURF SYSTEM INSTALLATION.

OWNER'S INFORMATION
OWNER: CHARLESTON COUNTY SCHOOL DISTRICT
CONTACT: JASMEEN SHAW, PE
3999 BRIDGE VIEW DRIVE
CHARLESTON, SC 29405
P: 843-566-1975
E: JASMEEN_SHAW@CHARLESTON.K12.SC.US

ENGINEER'S INFORMATION
SSOE/STEVENS & WILKINSON
1501 MAIN STREET
COLUMBIA, SC 29201
CONTACT: KEVIN EUBANKS, PE
P: 803-765-0320
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Charleston County SCHOOL DISTRICT

**MALCOLM C. HURSEY
MONTESSORI SCHOOL
AT THE RON MCNAIR CAMPUS**
BUILDING NO. 0734
3910 VERDE AVENUE
NORTH CHARLESTON, SC 29405

#	DESCRIPTION	DATE
2	ADDENDUM 2	11/12/22

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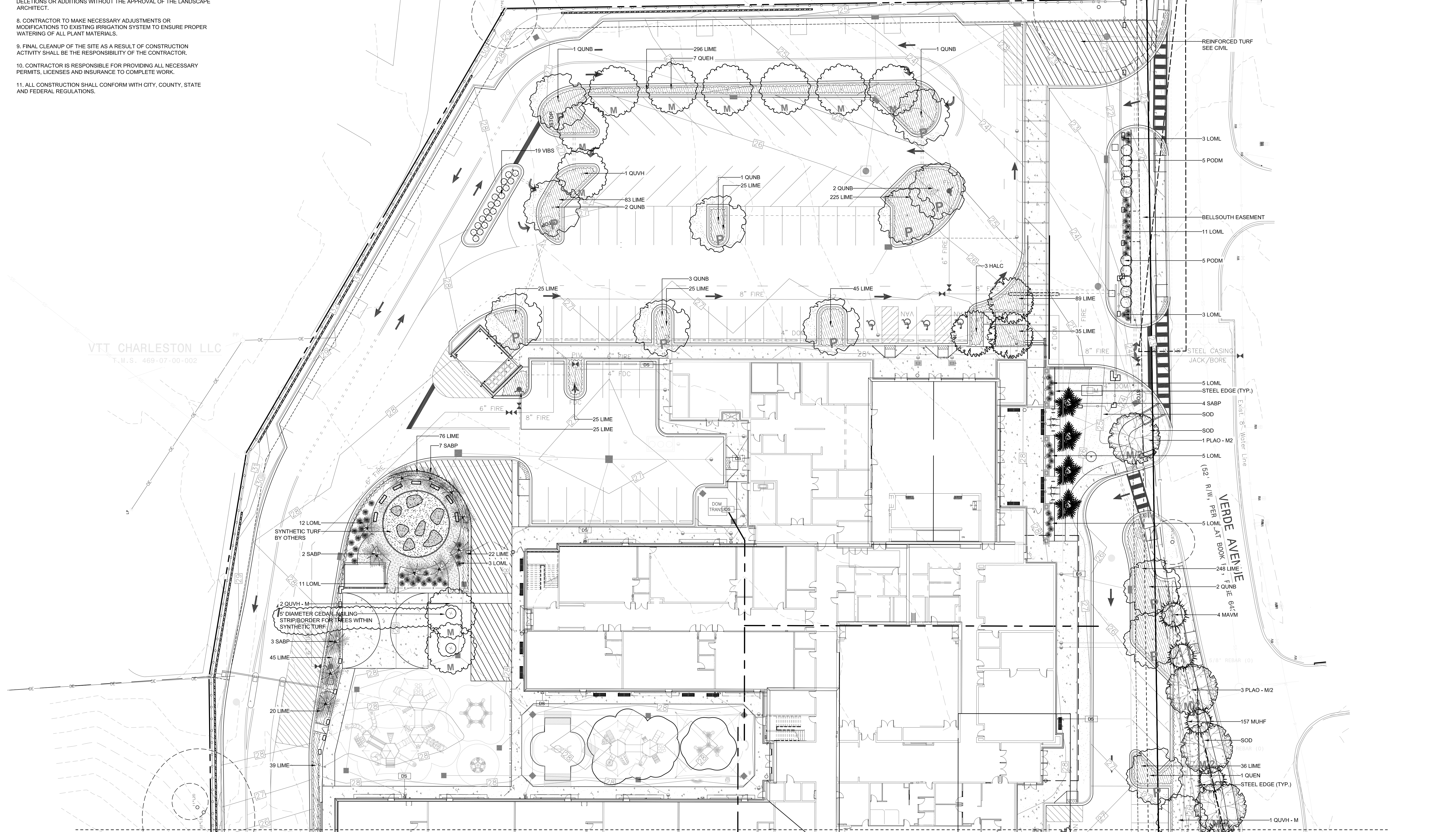
BID SET
SITE DETAILS

Project Number: 20076
Date: DECEMBER 17, 2021
Drawn By: TG

C501

- GENERAL NOTES:
1. BASE INFORMATION INCLUDING STREETS, RIGHT-OF-WAYS, LOTS, LINES, UNDERGROUND UTILITIES AND TOPO OBTAINED FROM ORIGINAL DOCUMENT PROVIDED BY OWNER. SURCULUS LLC ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION.
 2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CABLE LOCATOR SERVICE (1.800.922.0983) TO LOCATE ALL EXISTING UNDERGROUND ELECTRICAL AND TELEPHONE UTILITIES PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL THE LOCATOR SERVICE HAS COMPLETED MARKING OUT THE SITE.
 3. EXISTING UNDERGROUND UTILITIES ARE NOT IDENTIFIED NOR HAVE THEY BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BOTH HORIZONTALLY & VERTICALLY OF ALL EXISTING & PROPOSED UTILITIES BEFORE COMMENCING WORK, AND HE SHALL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES THAT ARE DISTURBED AS A RESULT OF THE WORK.
 4. THE CONTRACTOR SHALL EXERCISE CAUTION IN AREAS WHERE ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES, BOTH KNOWN AND UNKNOWN. CONTRACTOR SHALL OBSERVE BEST SAFETY PRACTICES WHILE WORKING NEAR VEHICULAR TRAFFIC.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND WALKWAYS. ALL DISTURBED SOIL RESULTING FROM TRENCHING AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND STABILIZED. CONTRACTOR SHALL PROVIDE EROSION CONTROL AS NECESSARY UNTIL DISTURBED SOIL IS STABILIZED.
 6. THE CONTRACTOR SHALL VERIFY PLANS IN THE FIELD AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MATERIAL AND EQUIPMENT QUANTITIES. THERE SHALL BE NO SUBSTITUTIONS, DELETIONS OR ADDITIONS WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 8. CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS OR MODIFICATIONS TO EXISTING IRRIGATION SYSTEM TO ENSURE PROPER WATERING OF ALL PLANT MATERIALS.
 9. FINAL CLEANUP OF THE SITE AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 10. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PERMITS, LICENSES AND INSURANCE TO COMPLETE WORK.
 11. ALL CONSTRUCTION SHALL CONFORM WITH CITY, COUNTY, STATE AND FEDERAL REGULATIONS.

- MITIGATION REQUIREMENTS:**
- **SEE CIVIL FOR TREE REMOVAL SUMMARY TABLES****
(TREES USED TO SATISFY THIS REQUIREMENT DENOTED WITH "M" AND M2 IN PLAN)
- NUMBER OF HARDWOOD TREES FOR REMOVAL 24" OR GREATER: 6 TREES, = 297" DBH
- TREE MITIGATION REQUIRED: 297" DBH
 TREE MITIGATION PROVIDED: 20 LIVE OAK TREES @ 4.5" = 90" - M
 8 LIVE OAK TREES @ 2.5" = 20" - M2 (TREES ARE IN 2.5' EXCESS OF REQUIRED SIZE FOR BUFFER)
 4 NUTTAL OAK @ 3.0" = 12" - M (EXCESS PARKING LOT TREES)
 8 AMERICAN SYCAMORE TREES @ 2.5" = 20" - M2 (TREES ARE IN 2.5' EXCESS OF REQUIRED SIZE FOR BUFFER)
- TOTAL MITIGATION PROVIDED: 40 TREES = 142" DBH IS LESS THAN 297" REQUIRED MITIGATION.
 BALANCE OF MITIGATION EQUAL TO 155" TO BE PAID INTO NORTH CHARLESTON TREE BANK.
- PARKING LOT TREE REQUIREMENTS:**
(INDIVIDUAL PLANTS USED TO SATISFY THIS REQUIREMENT DENOTED WITH "P" IN PLAN)
- FRONT LOT: 55 PROPOSED PARKING SPACES
 BACK LOT: 90 PROPOSED PARKING SPACES
 TOTAL: 145 PROPOSED PARKING SPACES
- REQUIRED PARKING LOT TREES: 14.5
 PROPOSED PARKING LOT TREES: 19
- BUFFER TABLE:**
- VERDE AVENUE - 329.3' TYPE A BUFFER (EXCLUDES 252' LOCATED IN SOUTHERN BELL EASEMENT AND DRIVEWAYS)
- | | |
|-------------------------------|--|
| 7 CANOPY TREES | (8) 16" AMERICAN SYCAMORE TREES PROVIDED |
| 10 UNDERSTORY TREES REQUIRED | (10) 6" Min. SWEETBAY MAGNOLIA PROVIDED |
| 66 ORNAMENTAL SHRUBS REQUIRED | (66) 18" SWEETGRASS PROVIDED |
- SPRUL AVENUE - 410.2' TYPE A BUFFER
- | | |
|-------------------------------|--|
| 8 CANOPY TREES | (8) 16" HIGHRISE LIVE OAK TREES PROVIDED |
| 12 UNDERSTORY TREES REQUIRED | (12) 6" Min. FRINGE TREES PROVIDED |
| 82 ORNAMENTAL SHRUBS REQUIRED | (86) 18" SPARTINA GRASS PROVIDED |
- ADJACENT PROPERTY TMS 469-07-00-002 - TYPE B BUFFER
- | |
|--|
| 8' PRIVACY FENCE PROVIDED IN LIEU OF BUFFER PLANTING |
|--|



RED IRON ARCHITECTS

4591 Durant Avenue
 North Charleston, SC 29405

843.834.2677
 www.red-ironarchitects.com

SOUTH CAROLINA
 SURCULUS, LLC
 LA No. 353
 CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA
 LANDSCAPE ARCHITECT
 No. 785
 ROBERT MAERLINDER

Charleston County SCHOOL DISTRICT

**MALCOLM C. HURSEY MONTESSORI SCHOOL
 AT THE RON MCNAIR CAMPUS BUILDING NO. 0734**

3910 VERDE AVENUE
 NORTH CHARLESTON, SC 29405

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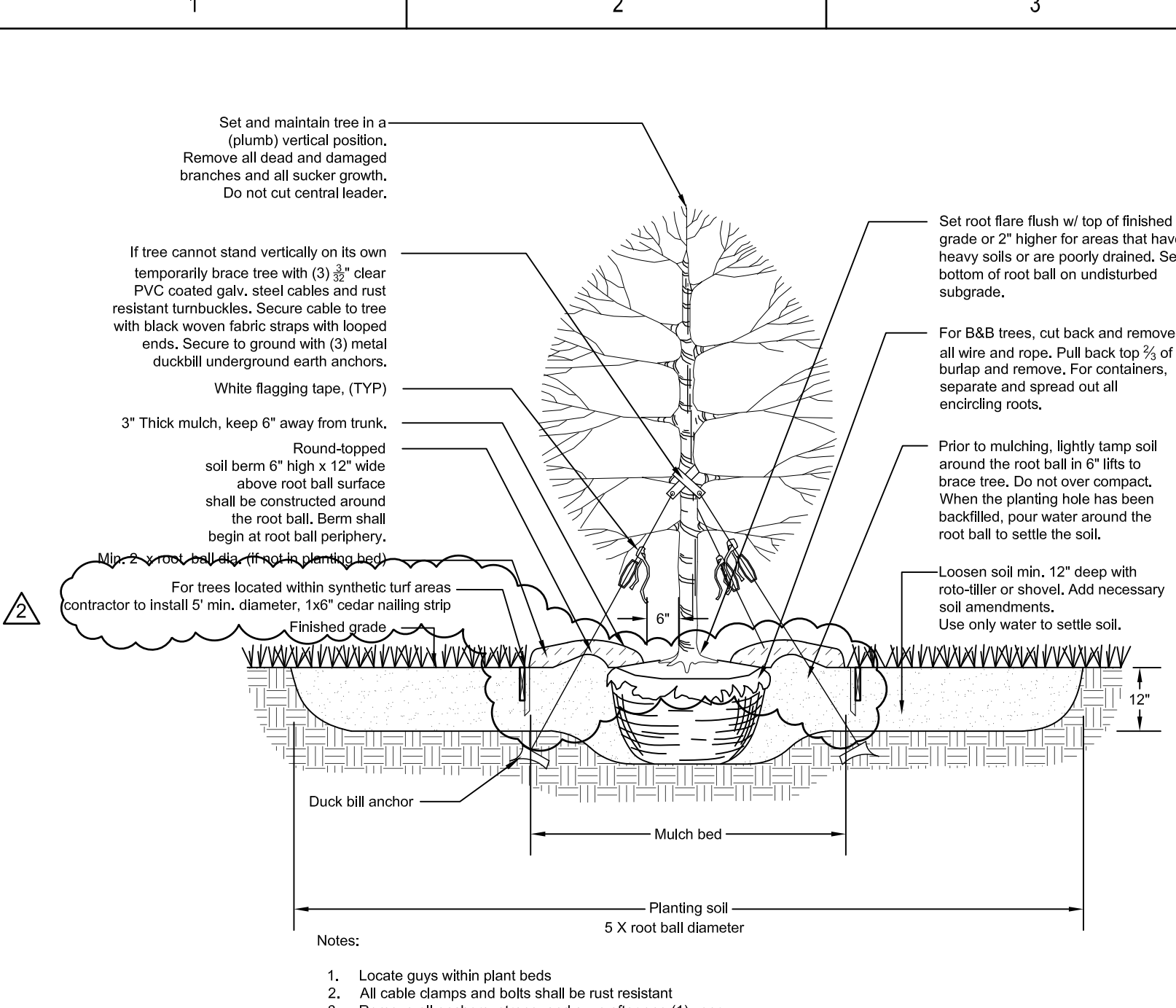
APPROVED FOR CONSTRUCTION

BID SET

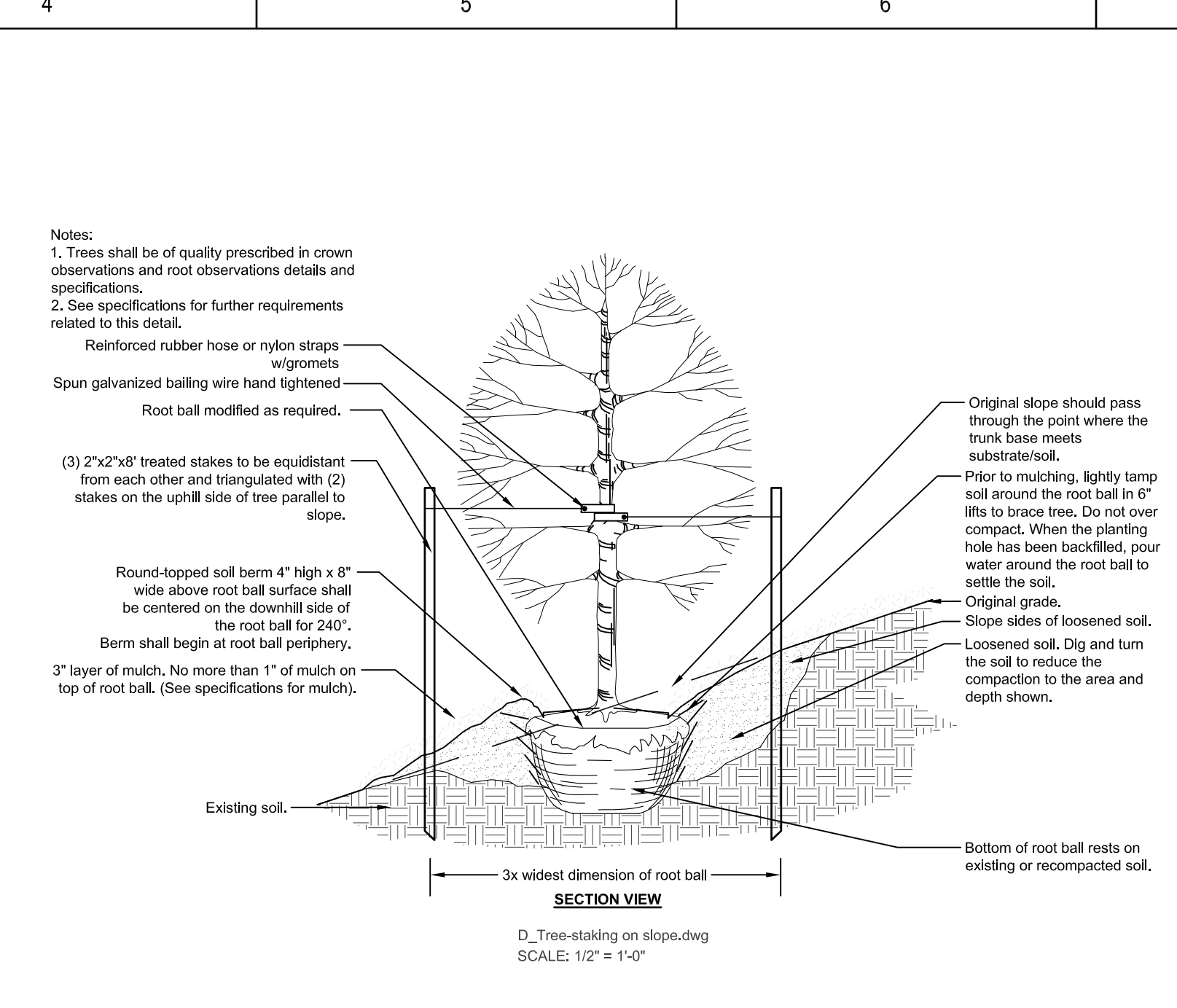
PLANTING PLAN

Project Number: 20076
 Date: DECEMBER 17, 2021
 Drawn By: TAS, RKM

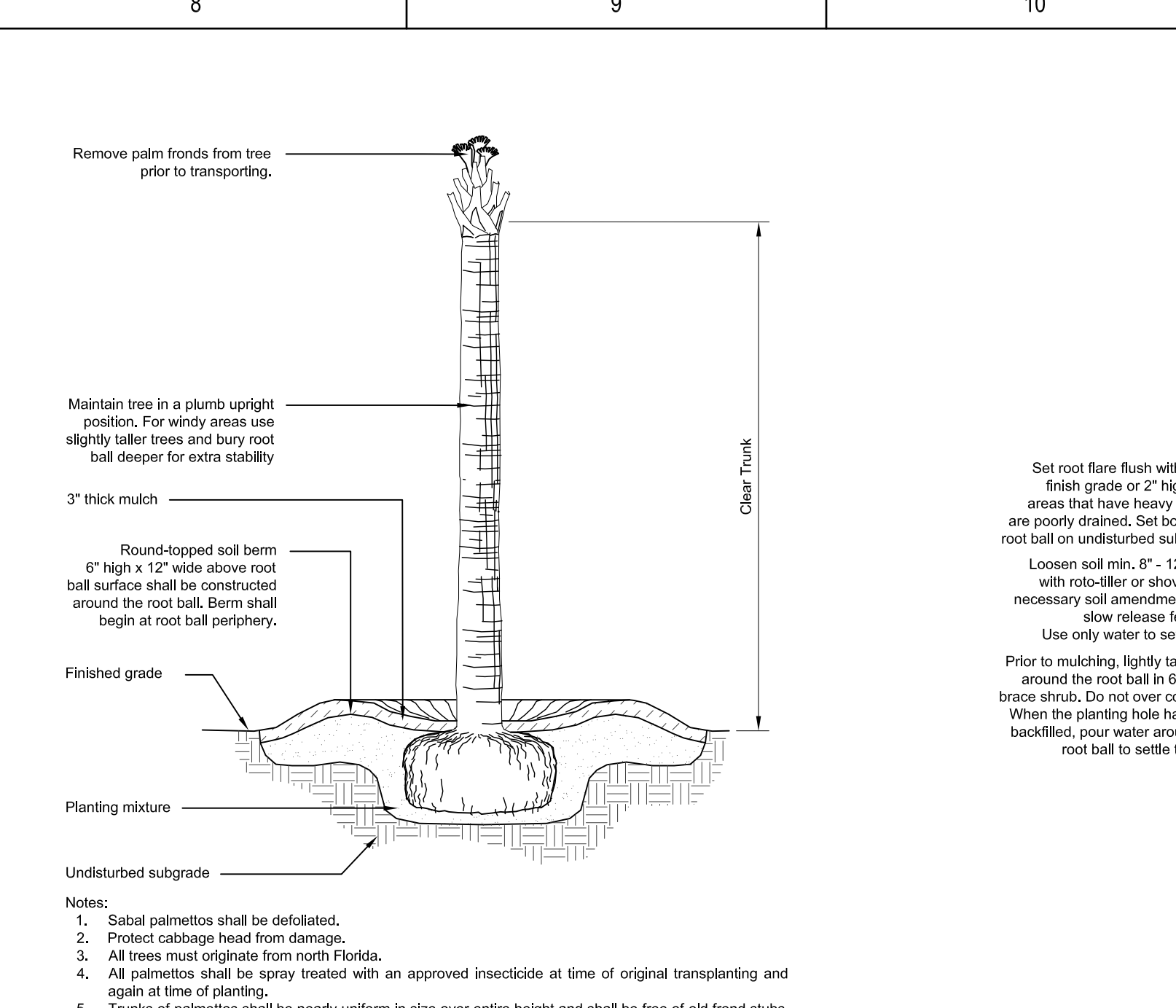
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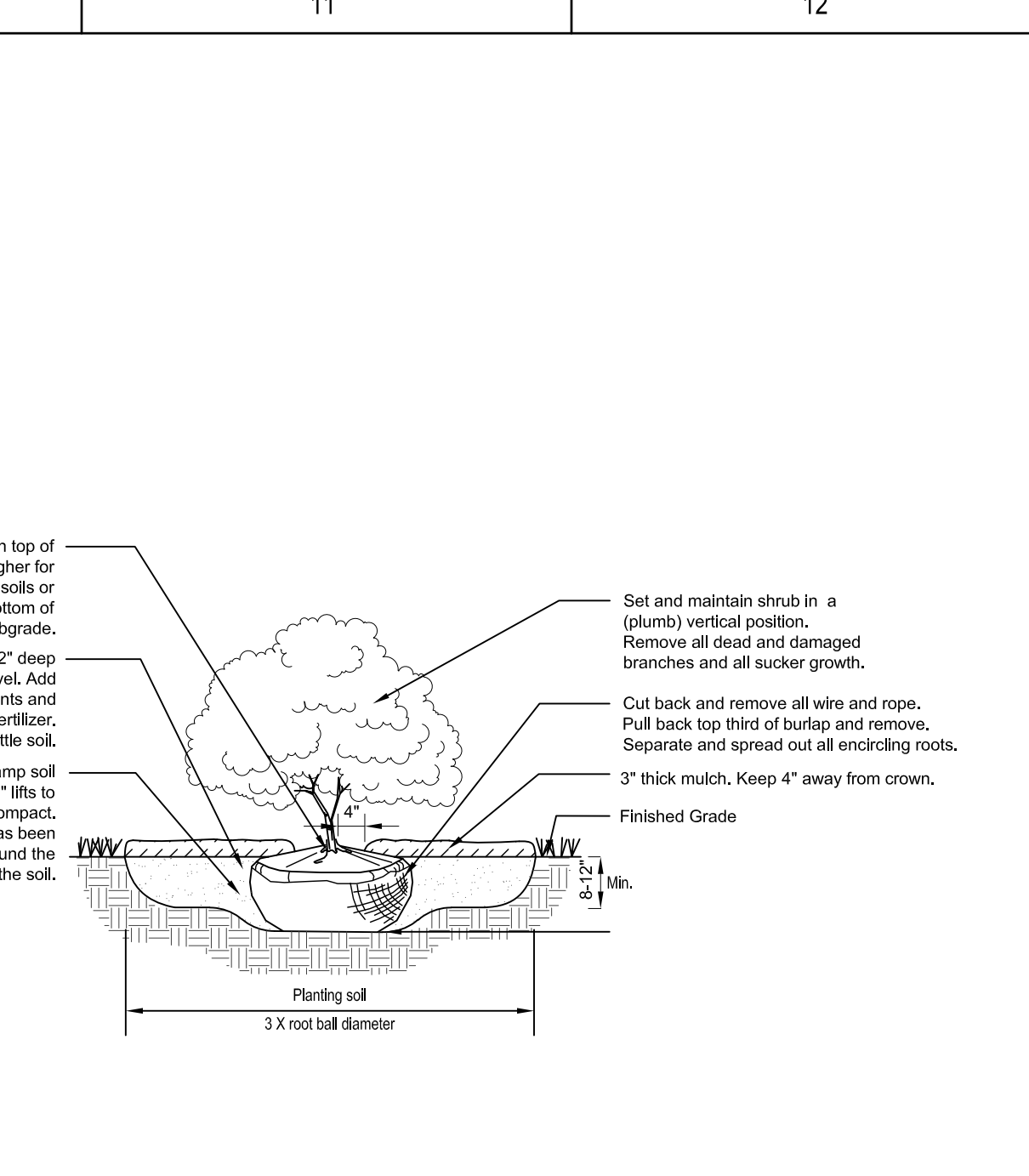
1 TREE PLANTING DETAIL
NTS



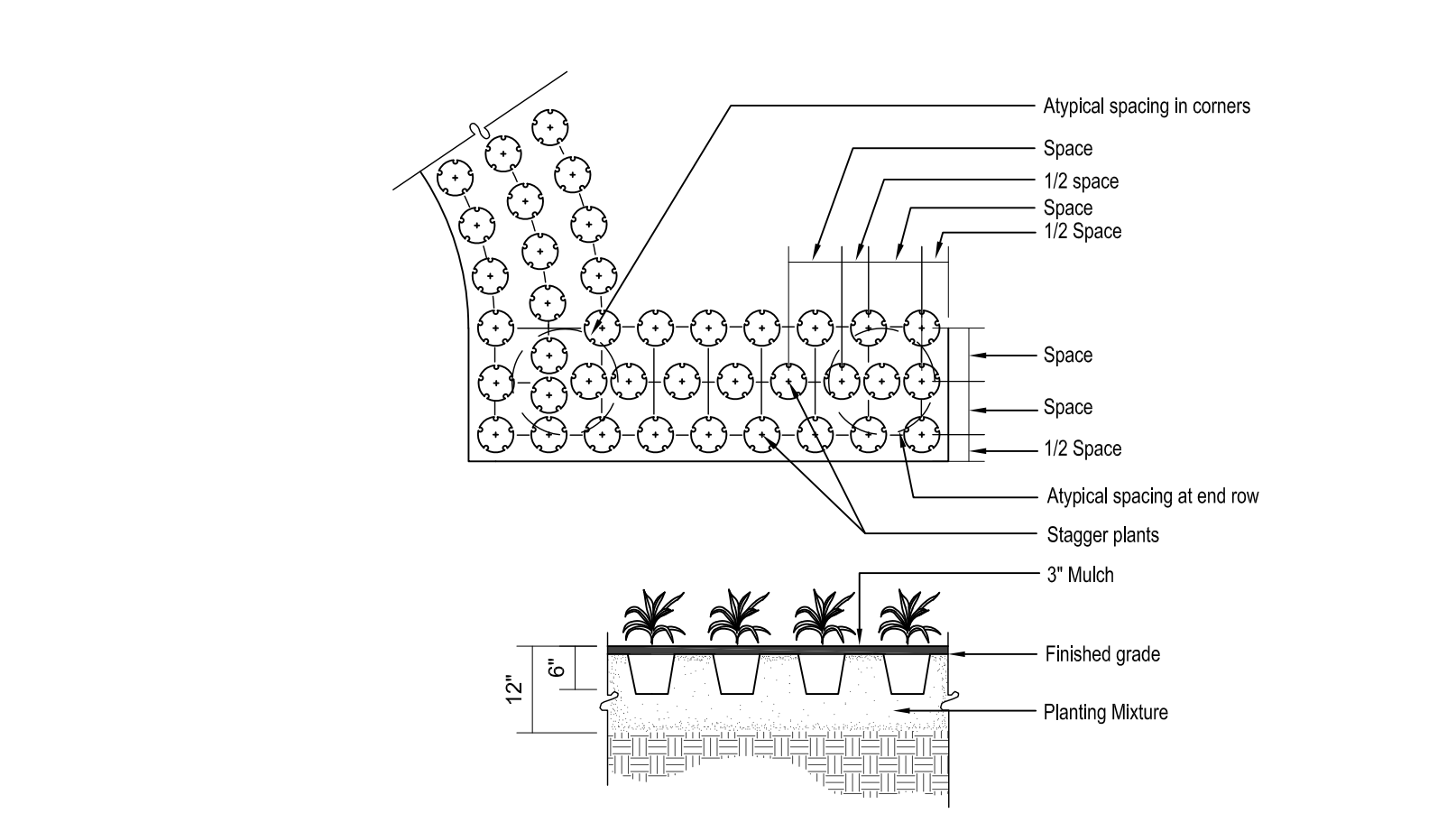
2 TREE ON SLOPE 5% (20:1) TO 50% (2:1) - UNMODIFIED SOIL
NTS



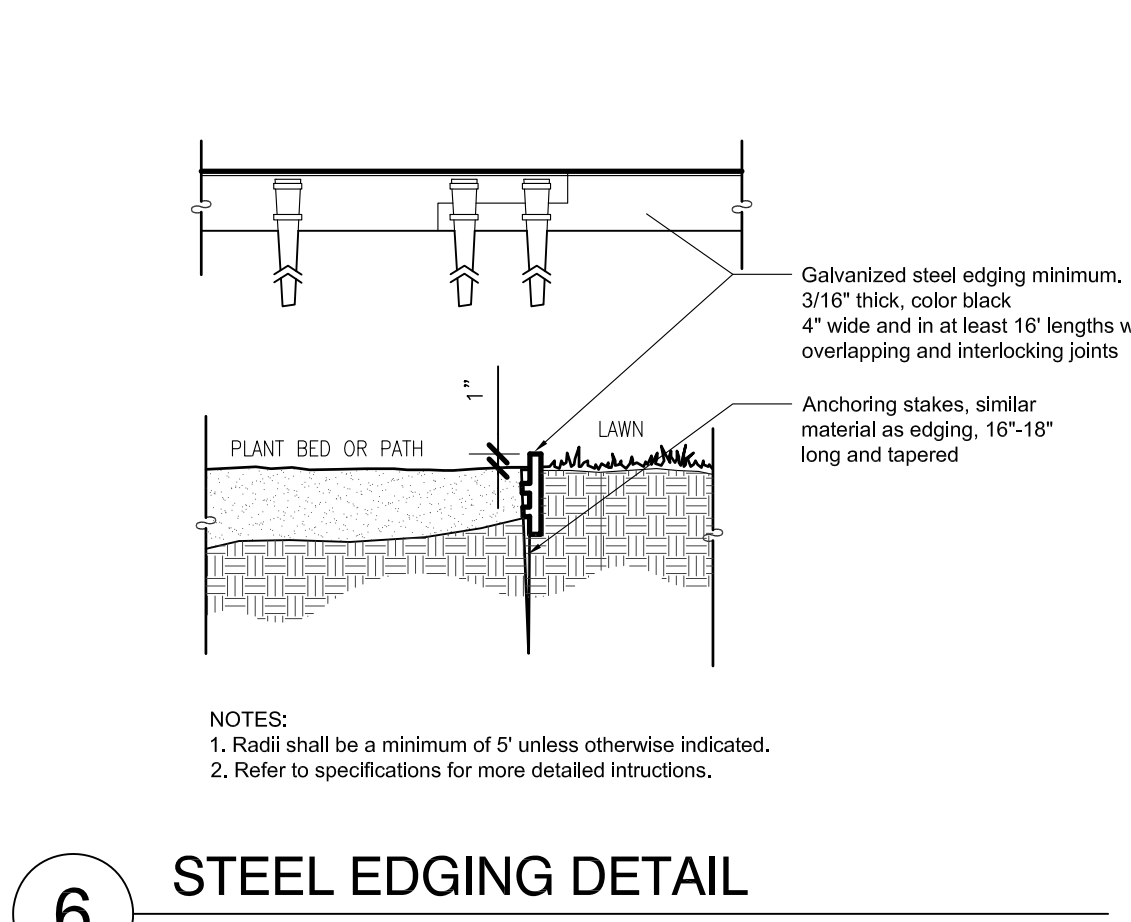
3 PALM TREE PLANTING DETAIL
NTS



4 SHRUB PLANTING DETAIL
NTS



5 GROUND COVER & PERENNIAL PLANTING DETAIL
NTS



6 STEEL EDGING DETAIL
NTS

GENERAL NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BOTH HORIZONTALLY & VERTICALLY OF ALL EXISTING & PROPOSED UTILITIES BEFORE COMMENCING WORK, AND HE SHALL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES THAT ARE DISTURBED AS A RESULT OF THE WORK.
- ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE OF THE LIMIT OF WORK SHALL BE REPAIRED, GRADED AND GRASSED. SEE CIVIL DRAWINGS FOR SEEDING SCHEDULE.
- PINESTRAW MULCH SHALL BE APPLIED AT A MINIMUM DEPTH OF 3" TO ALL BUFFER AREAS AND OTHER PLANTING BEDS. TREES PLACED IN GRASSED AREAS (SEED OR SOD) AND OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL RECEIVE A 5' DIAMETER MULCH RING AT A MINIMUM DEPTH OF 3". SHRUBS LOCATED IN THESE AREAS SHALL RECEIVE A 3' DIAMETER MULCH RING AT A MINIMUM DEPTH OF 3".
- PROVIDE EROSION CONTROL WHERE SLOPES ARE GREATER THAN 3:1 AND WHERE EROSION KEEPS RE-OCCURRING.
- ALL TREE, SHRUB, AND GROUND COVER MATERIAL SHALL BE PLANTED WITHIN 24 HOURS OF DELIVERY.
- ANY PLANTS LOCATED IN DIRECT SUN SHALL BE NURSERY SUN GROWN.
- ALL PLANT MATERIAL TO MEET OR EXCEED AAN STANDARDS.
- ALL TREES TO BE PLANTED FOLLOWING ACCEPTED HORTICULTURAL PRACTICES. PLANTING HOLES TO BE BACKFILLED WITH 1/3 COMPOST. DO NOT APPLY FERTILIZER AT PLANTING.
- ALL SHRUBS, GRASSES AND GROUNDCOVERS TO BE SURFACE FERTILIZED WITH OSMOCOTE SLOW-RELEASE FERTILIZER ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY LICENSES AND INSURANCE TO COMPLETE WORK.
- FINAL CLEANUP OF SITE AS A RESULT OF LANDSCAPE OPERATIONS AND ALL FINE GRADING SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE.
- ALL PLANT MATERIAL, IRRIGATION, AND WORKMANSHIP TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR TO MAINTAIN ALL PLANTBEDS, IRRIGATION, AND PLANT LIFE UNTIL FINAL ACCEPTANCE OF LANDSCAPE. WARRANTY PERIOD OF ONE YEAR FOR PLANT MATERIALS BEGINS WHEN COMPLETION OF ALL PUNCH LIST ITEMS AND FINAL ACCEPTANCE OF LANDSCAPE HAVE BEEN APPROVED.
- CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- STAKING ONLY REQUIRED AS DEEMED NECESSARY BY THE LANDSCAPE CONTRACTOR.
- THERE SHALL BE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO COUNTY, STATE, AND FEDERAL REQUIREMENTS.

ABBREVIATION NOTE:

WHERE AN ABBREVIATION IS SHOWN, THE FOLLOWING NOTES APPLY:
 ABBRV - BOTANICAL ABBREVIATION
 QUAN - QUANTITY OF PLANT MATERIAL REQUIRED FOR THE PROJECT. (NOTE: CONTRACTOR RESPONSIBLE TO VERIFY QUANTITIES INDICATED. PLAN SHALL TAKE PRECEDENCE OVER SCHEDULE.)
 BOTANICAL/COMMON NAME- PLANT MATERIAL TO BE INSTALLED.
 CONT - CONTAINER TYPE WHICH PLANT MATERIAL IS ENCASED UPON SITE DELIVERY. (HEIGHT AND CALIPER SHALL TAKE PRECEDENCE OVER CONTAINER.)
 NOTES - SPECIFIC NOTES FURTHER SPECIFYING OR DESCRIBING PLANT MATERIAL.

QUANTITIES NOTES:

PLANT MATERIAL LIST WAS PREPARED FOR ESTIMATING PURPOSES ONLY. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. CONTRACTORS SHALL MAKE THEIR OWN QUANTITY TAKE-OFFS USING DRAWINGS TO DETERMINE QUANTITIES TO THEIR SATISFACTION, REPORTING PROMPTLY TO THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY AFFECT BIDDING. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.

QUAN	ABBRV	BOTANICAL/COMMON	HEIGHT	SPREAD	CONT	CAL/SPACING	NOTES
TREE							
12	CHIV	Chionanthus virginicus Fringe tree	6' Min.	4-5'	B&B	As Shown	Full, well formed, multi-stem specimen white flower
3	HALC	Halesia caroliniana Carolina silverbell	8' Min.	6'	B&B	As Shown	Full, well formed, multi-stem specimen 3 cane minimum, white flower
10	MAVM	Magnolia virginiana 'Moonglow' 'Moonglow' sweetbay magnolia	6' Min.	4-5'	B&B	As Shown	Full, well formed, multi-stem specimen white flower
8	PLAO	Platanus occidentalis American sycamore	16'	6-8'	B&B	4 1/2" Cal.	Matched specimen, straight, clear trunk Bold Spring Nursery (478) 783-4975
28	QUVH	Quercus virginiana 'Highrise' 'Highrise' Live oak	16'	6-8'	B&B	4 1/2" Cal.	Matched specimen, straight, clear trunk
19	QUNB	Quercus nuttallii 'Breezeway' 'Breezeway' Nuttall oak	14'	6-8'	B&B	3" Cal.	Matched specimen, straight, clear trunk Bold Spring Nursery (478) 783-4975
16	SABP	Sabal palmetto Sabal palm	12' CTH	4-5'	B&B	As Shown	Matched specimen, rejuvinated head, straight, clear trunk
SHRUB							
58	LOML	Lomandra logifolia Breeze Grass	24" Min.	24" Min.	3 Gal.	As Shown	Full, well formed
10	PODM	Podocarpus macrophyllus Japanese podocarpus	48" Min.	24" Min.	15 Gal.	As Shown	Full, well formed
15	VAC	Viburnum awabuki 'Chindo' 'Chindo' Sweet Viburnum	4' Min.	3-4' Min.	15 Gal.	As Shown	Full, well formed To be installed with initial plantings
19	VIBS	Viburnum suspensum Sandankwa viburnum	24" Min.	24" Min.	7 Gal.	As Shown	Full, well formed
GROUND COVER/PERENNIALS							
1877	LIME	Liriope muscari 'Evergreen Giant' 'Evergreen Giant' liriope	-	-	1 Gal.	24" O.C.	Full gallon
512	MUHF	Muhlenbergia filipes Sweet grass	-	-	1 Gal.	36" O.C.	Full Gallon
1120	SPAB	Spartina bakeri Sand cord grass	-	-	1 Gal.	36" O.C.	Full Gallon
TURF							
SOD		Eremochloa ophiuroides var. 'Tif-Blair' Tif-Blair Centipede Sod					

* NOTE: WHEN THE REQUIRED LANDSCAPING SHOWN HAS BEEN INSTALLED, CONTACT THE PLANNING AND ZONING DEPARTMENT AT 843-740-2627 TO REQUEST A FINAL INSPECTION OF THE SITE.

MITIGATION REQUIREMENTS:

"SEE CIVIL FOR TREE REMOVAL SUMMARY TABLES"
 (TREES USED TO SATISFY THIS REQUIREMENT DENOTED WITH "M" AND M2 IN PLAN)
 NUMBER OF HARDWOOD TREES FOR REMOVAL 24" OR GREATER: 6 TREES, = 297' DBH
 TREE MITIGATION REQUIRED: 297' DBH
 TREE MITIGATION PROVIDED:
 20 LIVE OAK TREES @ 4.5" = 90" - M
 8 LIVE OAK TREES @ 2.5" = 20" - M2 (TREES ARE IN 2.5' EXCESS OF REQUIRED SIZE FOR BUFFER)
 4 NUTTAL OAK @ 3.0" = 12" - M (EXCESS PARKING LOT TREES)
 8 AMERICAN SYCAMORE TREES @ 2.5" = 20" - M2 (TREES ARE IN 2.5' EXCESS OF REQUIRED SIZE FOR BUFFER)

TOTAL MITIGATION PROVIDED: 40 TREES = 142' DBH IS LESS THAN 297' REQUIRED MITIGATION. BALANCE OF MITIGATION EQUAL TO 155' TO BE PAID INTO NORTH CHARLESTON TREE BANK.

PARKING LOT TREE REQUIREMENTS:

(INDIVIDUAL PLANTS USED TO SATISFY THIS REQUIREMENT DENOTED WITH "P" IN PLAN)
 FRONT LOT: 55 PROPOSED PARKING SPACES
 BACK LOT: 80 PROPOSED PARKING SPACES
 TOTAL: 145 PROPOSED PARKING SPACES

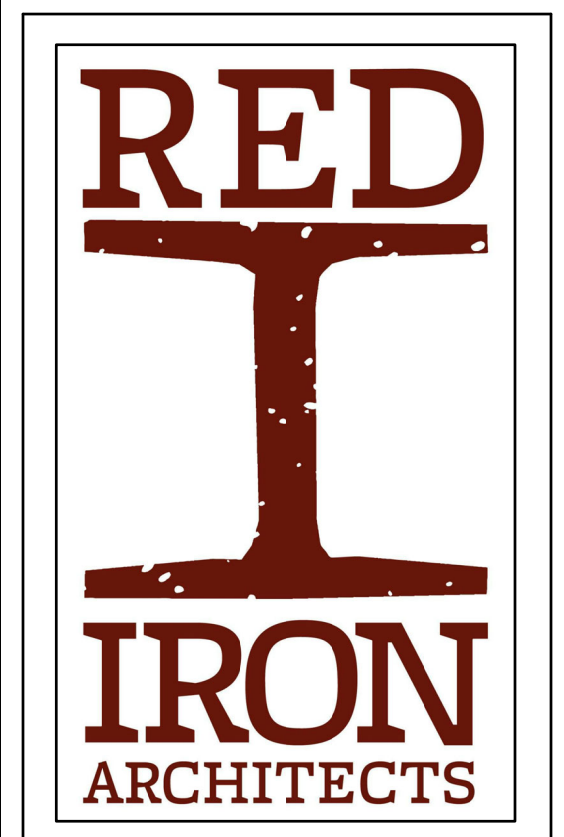
REQUIRED PARKING LOT TREES: 14.5
 PROPOSED PARKING LOT TREES: 19 (EXCESS PARKING LOT TREES EQUAL TO 12' TO BE USED TOWARDS MITIGATION)

BUFFER TABLE:

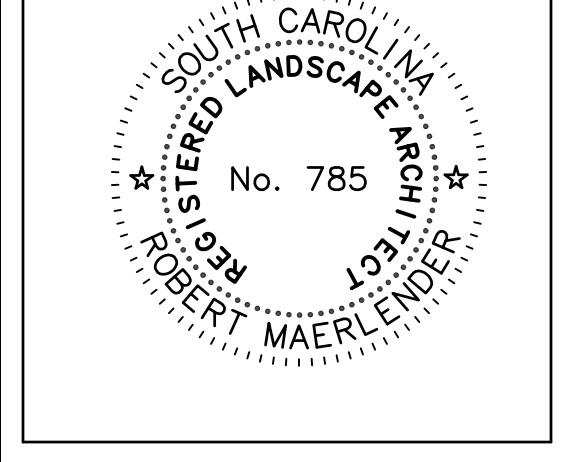
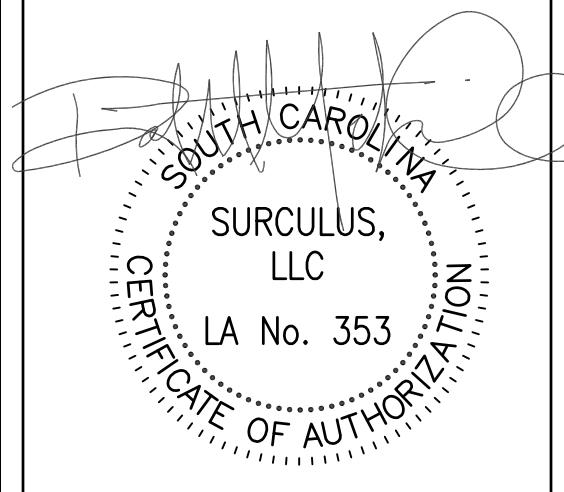
VERDE AVENUE - 329.3' TYPE A BUFFER (EXCLUDES 252' LOCATED IN SOUTHERN BELL EASEMENT AND DRIVEWAYS)
 7 CANOPY TREES (8) 16' AMERICAN SYCAMORE TREES PROVIDED
 10 UNDERSTORY TREES REQUIRED (10) 6' Min. SWEETBAY MAGNOLIA PROVIDED
 66 ORNAMENTAL SHRUBS REQUIRED (66) 18" SWEETGRASS PROVIDED

SPRUL AVENUE - 410.2' TYPE A BUFFER
 8 CANOPY TREES (8) 16" 'HIGHRISE' LIVE OAK TREES PROVIDED
 12 UNDERSTORY TREES REQUIRED (12) 6' Min. FRINGE TREES PROVIDED
 82 ORNAMENTAL SHRUBS REQUIRED (66) 18" SPARTINA GRASS PROVIDED

ADJACENT PROPERTY TMS 469-07-00-002 - TYPE B BUFFER
 6' PRIVACY FENCE PROVIDED IN LIEU OF BUFFER PLANTING



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Charleston County SCHOOL DISTRICT

MALCOLM C. HURSEY MONTESSORI SCHOOL
 AT THE RON MCNAIR CAMPUS BUILDING NO. 0734
 3910 VERDE AVENUE
 NORTH CHARLESTON, SC 29405

#	DESCRIPTION	DATE
2	ADDENDUM 2	01/12/22

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BID SET
 PLANT SCHEDULE
 PLANTING DETAILS

Project Number: 20076
 Date: DECEMBER 17, 2021
 Drawn By: TAS, RKM

L2.03

GENERAL ROOF NOTES

- PROVIDE A MINIMUM THICKNESS OF INSULATION WITH AN R-VALUE EQUAL TO OR GREATER THAN TWENTY (20) AT ALL ROOF ASSEMBLIES.
- ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM UNO.
- ALL SLOPED CRICKETS AT MECHANICAL EQUIPMENT SHALL SLOPE 1/2" PER FOOT MINIMUM.
- ALL ROOF SLOPES NOTED IN TAPERED INSULATION SHALL SLOPE 1/2" PER FOOT MINIMUM.
- ALL ROOF SLOPES NOTED ARE REQUIRED MINIMUMS. G.C. TO COORDINATE ROOF SLOPES.
- ROOF DRAIN AND OVERFLOW DRAIN LOCATIONS ARE APPROXIMATE. G.C. TO COORDINATE LOCATIONS WITH STRUCTURAL AND MECHANICAL ELEMENTS.
- NO OVERFLOW ROOF DRAIN SHALL BE LOCATED ON A RIDGE OR VALLEY.
- G.C. TO COORDINATE LOCATION OF ROOF DRAINS AND OVERFLOW SCUPPERS SUCH THAT THE BOTTOM OF EACH SCUPPER IS NO GREATER THAN 4" ABOVE THE OUTLET OF THE ASSOCIATED ROOF DRAIN. G.C. TO COORDINATE HEIGHTS AND LOCATIONS OF SCUPPERS BETWEEN ALL RELEVANT TRADES.
- ALL COPING AND LOW SLOP ROOF EDGES SHALL CONFORM TO THE REQUIREMENTS OF IBC PARAGRAPH 1504.5 FOR WIND LOAD RESISTANCE AND TESTING PER ANSI/SPRI ES-1.

ROOF PLAN NOTES

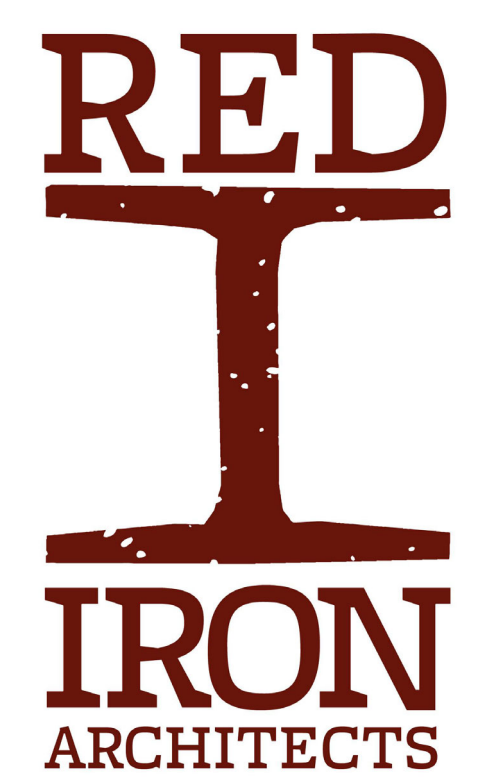
- ROOF SURFACE SHOWN IS PVC MEMBRANE, UNO.
- LOCATIONS AND SIZES OF MECHANICAL EQUIPMENT ARE APPROXIMATE. SEE STRUCTURAL AND MECHANICAL DRAWINGS FOR ACTUAL LOCATIONS.
- SEE PLUMBING DRAWINGS FOR VENTS THROUGH ROOF LOCATIONS.
- SEE SHEET A-XXX FOR TYPICAL ROOF DETAILS AND NOTES.
- SEE STRUCTURAL DRAWINGS FOR FASTENING REQUIREMENTS.
- SLOPE ALL LOW SLOPED ROOFS TO ROOF DRAINS WITH MINIMUM SLOPE OF 1/4" PER FOOT. INSTALL ROOF DRAIN IN SQUARE RECESSED SUMP 18" SQUARE.
- PROVIDE CRICKETS AT ALL CURBS AND EQUIPMENT RAILS SET PERPENDICULAR TO ROOF SLOPE WHICH ARE GREATER THAN 24" WIDE.
- SLOPE ALL COPINGS BACK TO ROOF UNO.
- COPING CORNERS TO BE PREFABRICATED PIECES WITH EQUAL RETURNS A MINIMUM OF 18" IN LENGTH. TOP HORIZONTAL JOINTS TO BE STANDING SEAM, VERTICAL JOINTS TO BE FLAT JOINTS.
- WOOD BLOCKING SHOWN IN ROOF DETAILING SHALL BE PRESERVATIVE TREATED. USE SUITABLE FASTENERS WITH THE PRESERVATIVE TREATED WOOD.
- EXTEND ALL PENETRATIONS, CURBS, AND COMPONENTS A MINIMUM OF 8" ABOVE THE ROOF SURFACE. PROVIDE 12" CLEAR DISTANCE BETWEEN PENETRATIONS AND TO ANY VERTICAL SURFACE.
- IF NOT DETAILED, APPLY MOST STRINGENT CONDITION OF NRCA AND SMACNA (CURRENT EDITIONS) STANDARDS FOR ROOF DETAIL CONDITIONS.
- ALL ROOF EQUIPMENT SCREENS TO BE REMOVABLE FOR ACCESS.
- PROVIDE ROOF PADS AROUND ALL EQUIPMENT AND AT TOP AND BOTTOM OF ALL LADDERS AND ROOF ACCESS POINTS, TYP. SEE ROOFING CONSULTANT PLAN FOR ADDITIONAL INFORMATION.

ROOF PLAN KEYNOTES

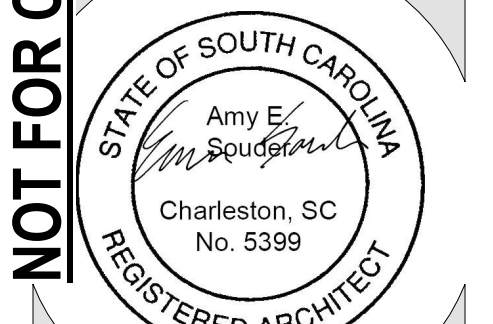
- ROOF ACCESS HATCH - 30"x72" SEE SPECS
- EQUIPMENT SCREENING
- METAL STAIR TO LOWER OR HIGHER ROOF LEVEL
- PROVIDE FALL PROTECTION 42" AT ROOF AT ALL EQUIPMENT AND OPENINGS THAT ARE 10' 0" OR CLOSER TO THE ROOF EDGE. TYP. EXTEND FALL PROTECT BEYOND 10'-0" AWAY FROM ROOF ACCESS POINT.
- CANOPY BELOW, TYP.
- KITCHEN CONDENSER UNITS, SEE MECHANICAL AND ROOF DETAILS FOR TYPICAL PIPE PENETRATION DETAILS

ROOF SYMBOL LEGEND

	1HR FIRE RATED HORIZONTAL ASSEMBLY UL P962 OR CONTINUOUS 1HR SPRAY FIRE PROOFING
	METAL DECK ROOF
	CANOPY ROOF
	DOWNSPOUT - SEE PLUMBING FOR SIZING
	OVERFLOW SCUPPER
	INTERNAL DRAIN - SEE PLUMBING



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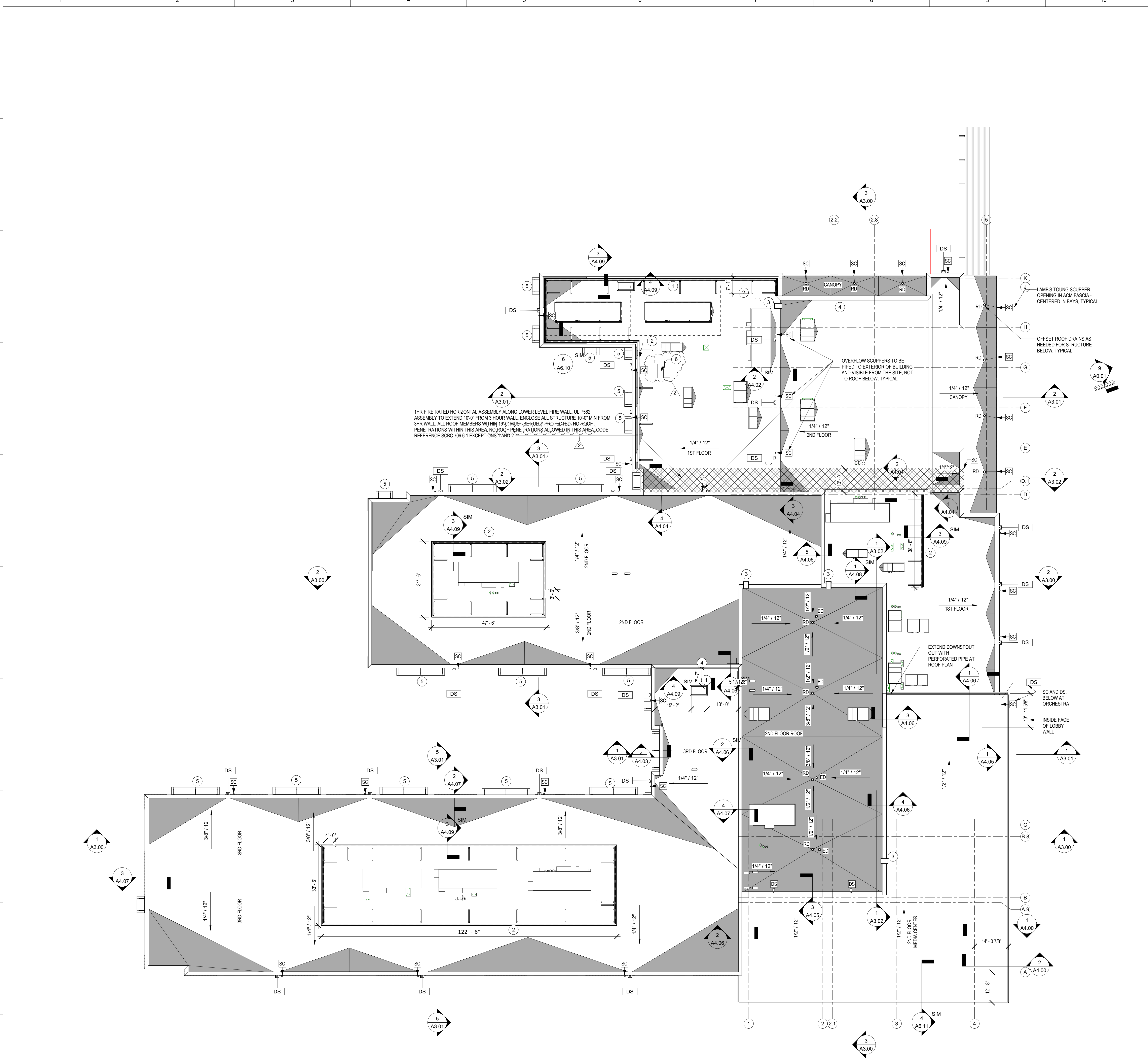
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OVERALL ROOF PLAN

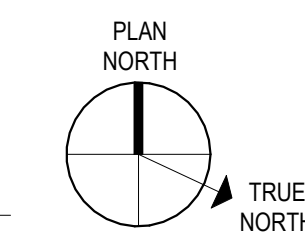
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Date: DECEMBER 17, 2021
Drawn By: DD

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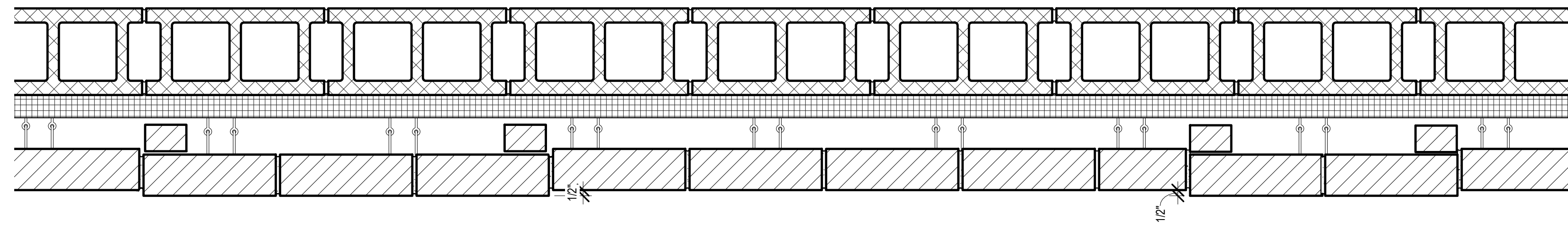
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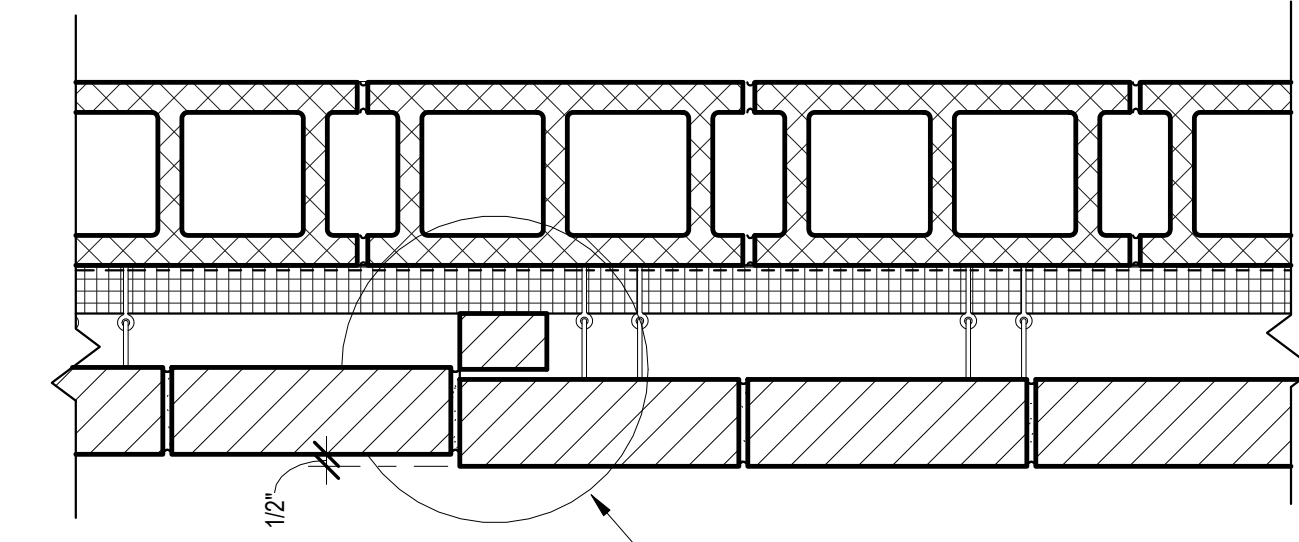
1 ROOF PLAN
1/16" = 1'-0"



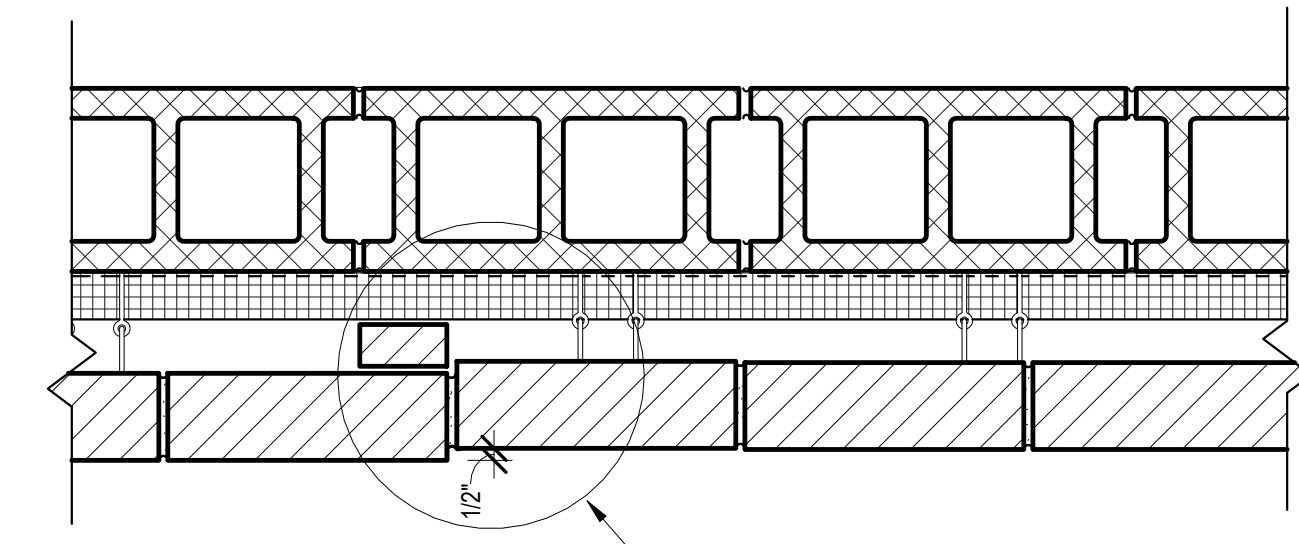
5 BRICK REVEALS AT STAIR
1 1/2" = 1'-0"



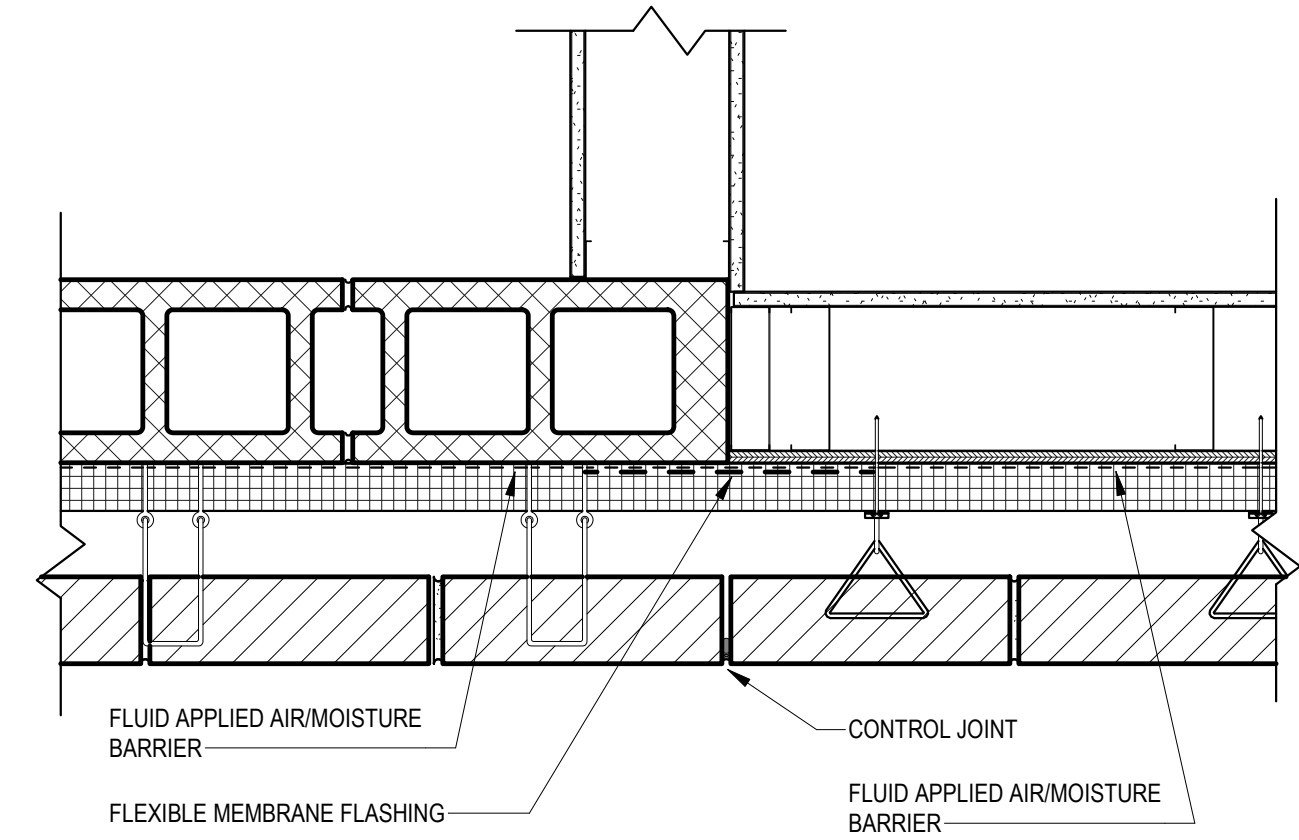
1 EXTERIOR BRICK TO BRICK WALL CORBEL TRANSITION
1 1/2" = 1'-0"



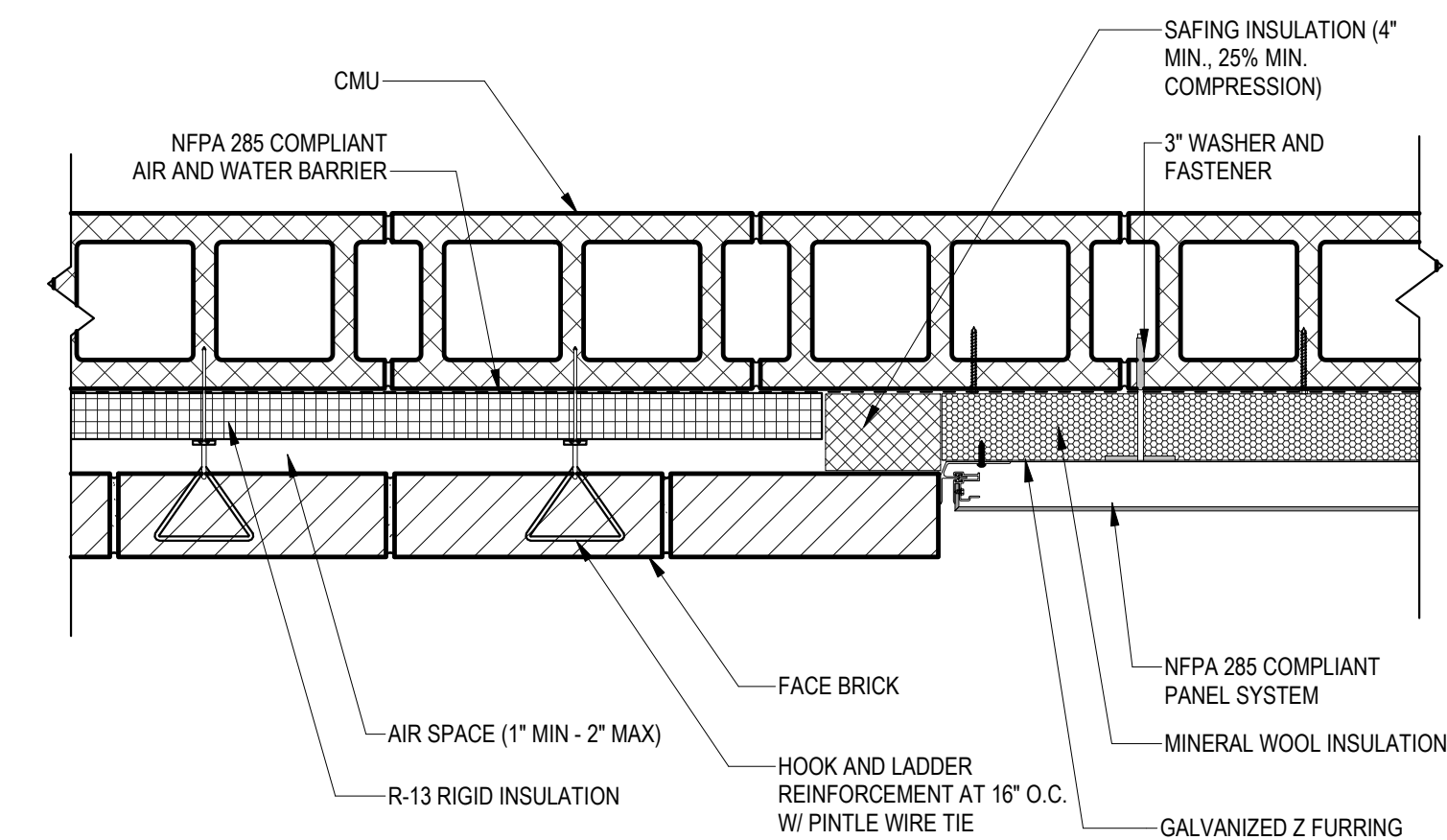
2 EXTERIOR BRICK TO BRICK WALL REVEAL TRANSITION
1 1/2" = 1'-0"



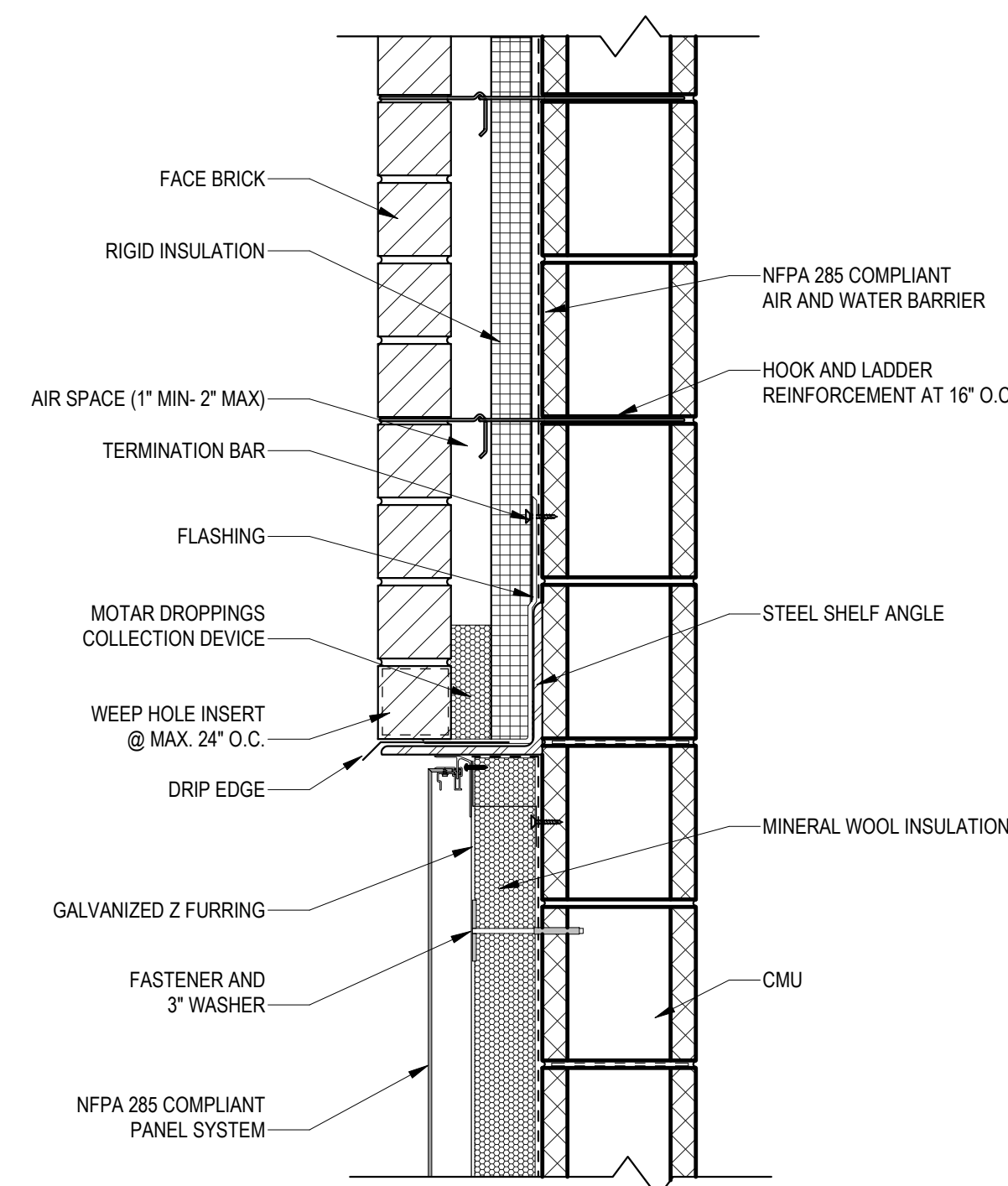
3 EXTERIOR CMU TO STUD WALL TRANSITION
1 1/2" = 1'-0"



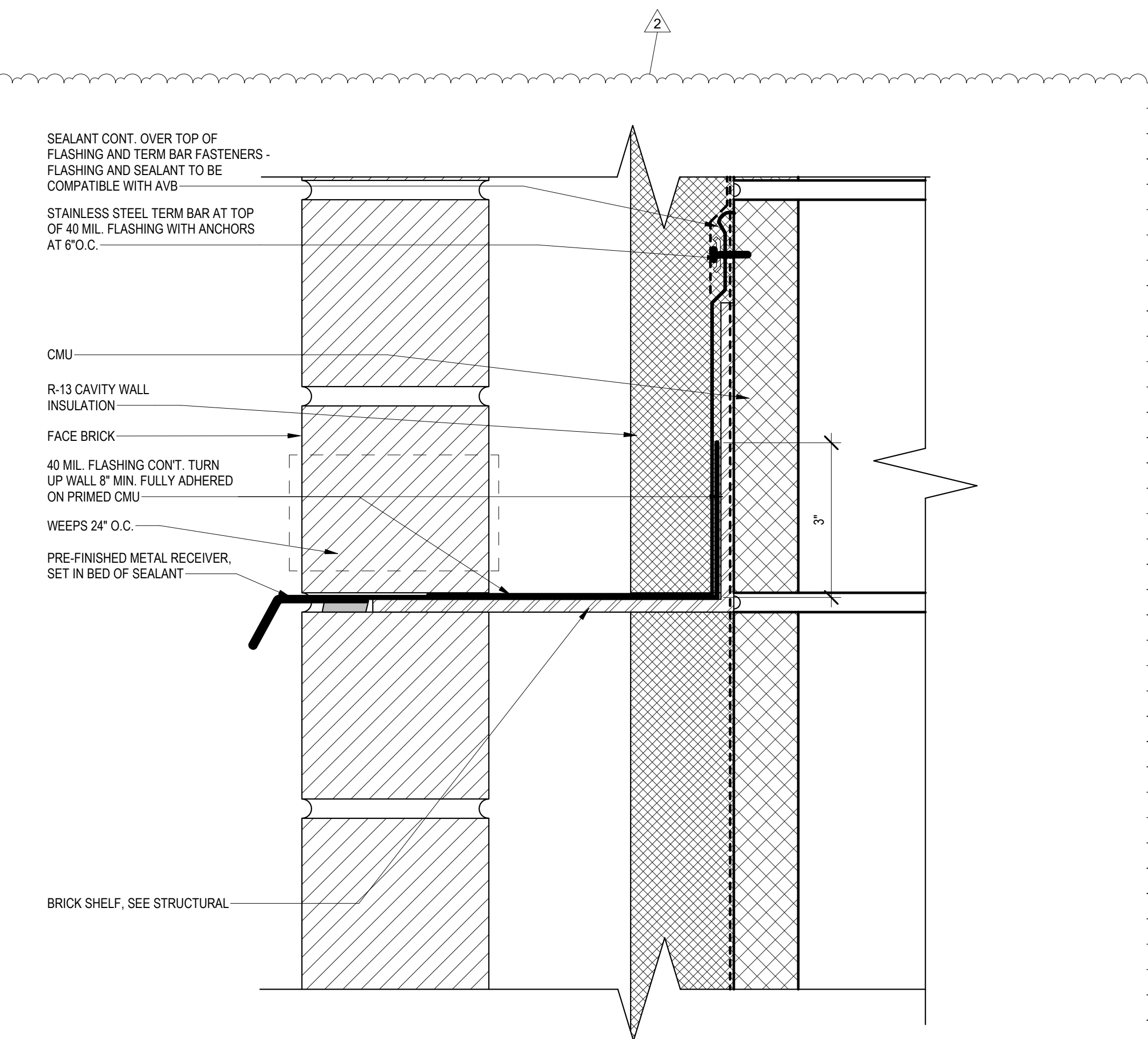
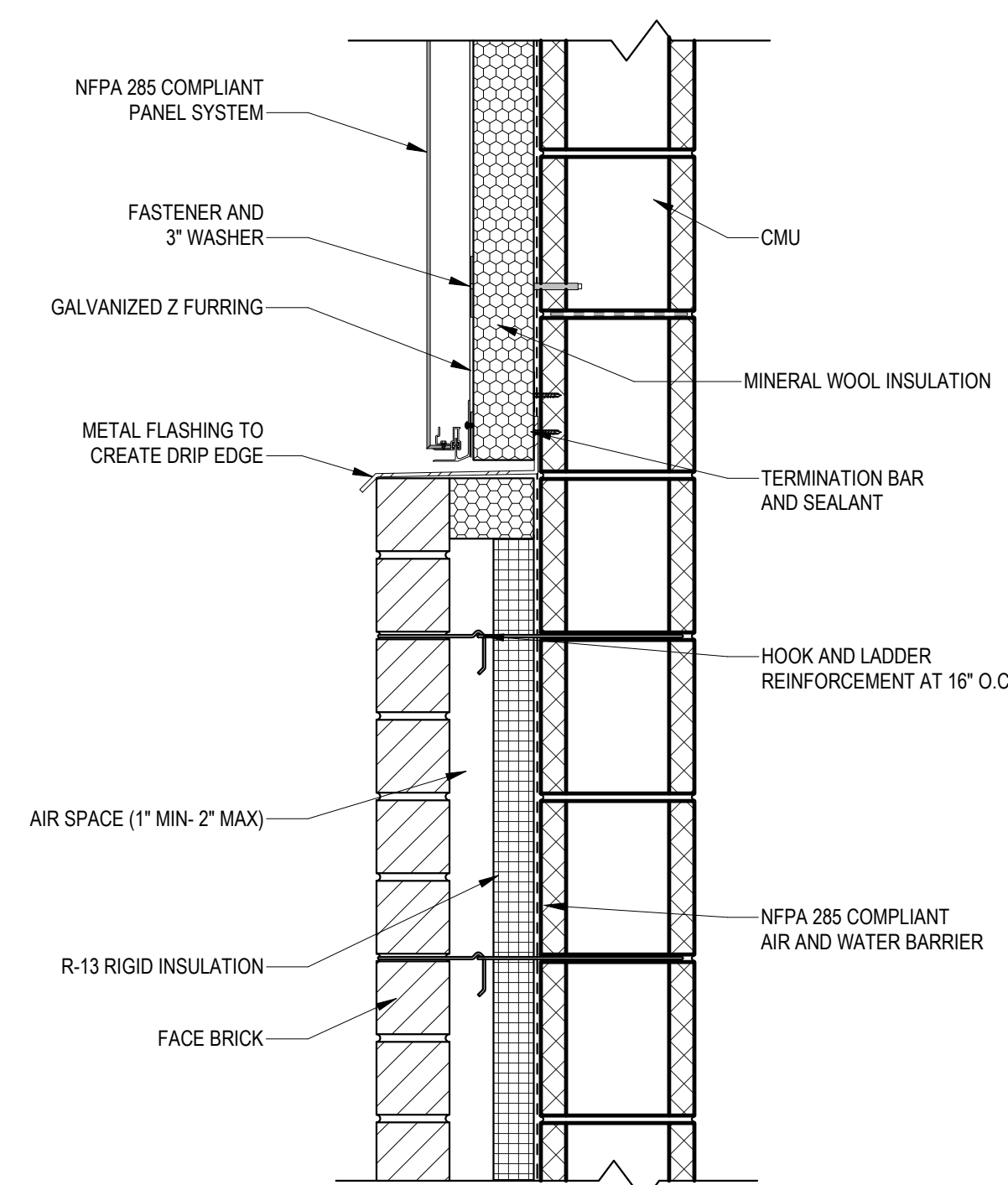
4 NFPA 285 - TRANSITION JAMB, CMU
1 1/2" = 1'-0"



6 NFPA 285 - TRANSITION HEAD, CMU
1 1/2" = 1'-0"



7 NFPA 285 - TRANSITION MP TO BRICK SILL
1 1/2" = 1'-0"



8 COUNTER FLASHING DETAIL
6" = 1'-0"

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EXTERIOR DETAILS

Project Number: 20076
Date: DECEMBER 17, 2021
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A6.14